



Urban Renewal Agency Agenda

Wednesday, January 22, 2025, 12:00 PM

Council Chambers
203 Main Avenue East, Twin Falls, Idaho

Commissioners: Rudy Ashenbrener, Dan Brizee, Jan Rogers, JJ McBride, Dave McAlindin, Eric Smallwood, Jennifer Colvin

- 1) Confirmation of Quorum/Call Meeting to Order
- 2) Conflict of Interest Declaration
- 3) Consent Calendar
 - a) **ACTION ITEM:** Request to approve the 1) December 16, 2024, Minutes; 2) December 2024 Financial Report, and 3) January 2025 Accounts Payable.
By: Lorrie Bauer, Administrative Assistant
- 4) Reports/Updates
 - a) Executive Director's Report
By: Shawn Barigar, Executive Director
- 5) Items of Consideration
 - a) **ACTION ITEM:** Consider approval of a Second Amendment to the Lease for tenants at Agency-owned property located at 259 Shoshone Street South.
By: Shawn Barigar, Executive Director
 - b) **ACTION ITEM:** Presentation of the Budget Study for a Hansen St. East Public Improvement Project and Consideration of Continued Discussion About Future Development Assistance from the Agency.
By: Shawn Barigar, Executive Director
 - c) **DISCUSSION:** 2025 Priorities for Agency Owned Properties.
By: Shawn Barigar, Executive Director
- 6) Public Input and Announcements
- 7) Upcoming Meeting(s)
 - a) Thursday, February 20, 2025, at 12:00 pm
- 8) Adjournment

Any person(s) needing special accommodations to participate in the above-noticed meeting could contact Lorrie Bauer (208) 735-7313 at least two working days before the meeting. Si desea esta información en Español, por favor llame a Josh Palmer al teléfono (208) 735-7312.



Urban Renewal Agency Minutes

Monday, December 16, 2024, 12:00 PM

Council Chambers
203 Main Avenue East, Twin Falls, Idaho

Commissioners: Rudy Ashenbrener, Dan Brizee, Jan Rogers, JJ McBride, Dave McAlindin, Eric Smallwood, Jennifer Colvin

1) Confirmation of Quorum/Call Meeting to Order

Present: Rudy Ashenbrener, Dan Brizee, Jan Rogers, JJ McBride, Dave McAlindin, Eric Smallwood, Jennifer Colvin

Absent: None

Staff Present: Shawn Barigar, Executive Director; Lorrie Bauer, Administrative Assistant; Parker Scherer, Assistant Finance Director; Jesse Schuerman, Staff Engineer; Jonathan Spendlove, Planning & Zoning Director; Troy Vitek, City Engineer; Ruth Pierce, City Council Liaison; Breanna Howard, Finance Director; Travis Rothweiler, City Manager

Chair Ashenbrener called the meeting to order at 12:00 PM. A quorum was present.

2) Conflict of Interest Declaration

None.

3) Consent Calendar

- a) Request to approve the 1) November 18, 2024, Minutes, 2) November 2024 Financial Report, and 3) December 2024 Accounts Payable.

Commissioner Brizee questioned the parameters for snow removal.

MOTION: Eric Smallwood moved to approve the consent calendar as presented. Jan Rogers seconded the motion. Roll call vote showed all members present voted. Approved 7 to 0.

4) Reports/Updates

- a) Executive Director's Report
Executive Director, Shawn Barigar, voiced his report as included in the agenda packet. Discussion ensued regarding the status of water and sewer for the Gemini Phase 2 development, which may need improvements as the project progresses. Barigar shared that water and sewer expansion is included in our current Participation Agreement.

5) Items of Consideration

- a) Consideration of approval of the Development Assistance Participation Program Guidelines. Executive Director, Shawn Barigar, reviewed the request as included in the agenda packet. He shared that these guidelines would provide clarity to our process.
MOTION: Dave McAlindin moved to approve the Development Assistance Participation Program Guidelines as presented. Jan Rogers seconded the motion. Roll call vote showed all members present voted in favor of the motion.

- b) Presentation by Hansen Parkway Developers and Consideration of Financial Participation from the Agency for a Budget Study with HMM Engineering.

Executive Director, Shawn Barigar, introduced the request as included in the agenda packet and Mr. Fran Florence. Utilizing visuals, Mr. Florence presented the idea of a Hansen Parkway Redevelopment project between the 200 and 400 block corridor of Hansen St. East, in the downtown area. He believes this two-block project complies with the Agency's master plan and would like to utilize HMM Engineering to develop a budget for public improvement design that he hoped would be substantially funded by Urban Renewal. Discussion ensued.

MOTION: Eric Smallwood moved to accept the proposal and quote from HMM Engineering in the amount of \$7,000 and direct staff to coordinate with HMM Engineering, Hansen Parkway Developers, and City staff to complete the study work by January 22, 2025. Jennifer Colvin seconded the motion. Further discussion ensued. Executive Director Barigar shared suggested revisions to the Agreement from legal counsel to consider: 1) The length of time for invoice payment states 30 days, consider 60 days, and 2) correct the reference to "Benewah County" to "Twin Falls County". The motion would also need to include "and allow staff to make technical corrections to the agreement. This friendly amendment was added to the motion. Roll call vote showed all members present voted in favor of the motion, approved 7 to 0.

6) Public Input and Announcements

Sequoia Schmidt, a resident of Twin Falls who lives on Filer Avenue and has a business on 250 Main Ave N, commented about bureaucratic issues and the length of time to make a decision.

7) Upcoming Meeting(s)

- a) Wednesday, January 22, 2025, @ 12:00 pm.

8) Executive Session

- a) Convene in Executive Session per Idaho Code 74-206(1)(e) to consider preliminary negotiations involving matters of trade or commerce in which the governing body is in competition with governing bodies in other states or nations.
Executive Session was cancelled.

9) Adjournment

MOTION: Jan Rogers moved to adjourn. Eric Smallwood seconded the motion. Roll call vote showed all members present voted. Approved 7 to 0. The meeting adjourned at 01:29 PM.

Urban Renewal Agency of the City of Twin Falls, ID
P&L Over (Under) Budget - YTD
October through December 2024

	Oct - Dec 24	Budget	\$ Over Budget	% of Budget
Ordinary Income/Expense				
Income				
Contributions	0.00	343,903.00	-343,903.00	0.0%
Investment Income	58,361.40	200,400.00	-142,038.60	29.1%
Other Income	0.00	150,000.00	-150,000.00	0.0%
Property Taxes	10,344.76	4,627,041.00	-4,616,696.24	0.2%
Rental Income	11,649.99	46,600.00	-34,950.01	25.0%
Total Income	80,356.15	5,367,944.00	-5,287,587.85	1.5%
Gross Profit	80,356.15	5,367,944.00	-5,287,587.85	1.5%
Expense				
Bond Trustee Fees	0.00	5,000.00	-5,000.00	0.0%
Community Relations & Website	0.00	10,000.00	-10,000.00	0.0%
Debt Payments - Interest	0.00	476,988.00	-476,988.00	0.0%
Debt Payments - Principal	0.00	714,945.00	-714,945.00	0.0%
Dues and Subscriptions	4,600.00	4,600.00	0.00	100.0%
General Development Projects	10,136.00	500,000.00	-489,864.00	2.0%
Insurance Expense	0.00	11,294.00	-11,294.00	0.0%
Legal Expense	7,376.91	35,000.00	-27,623.09	21.1%
Management Fee	208,000.00	208,000.00	0.00	100.0%
Meeting Expense	924.62	4,000.00	-3,075.38	23.1%
Miscellaneous	0.00	500.00	-500.00	0.0%
Office Expense	0.00	500.00	-500.00	0.0%
Prof. Dev.\Training	563.67	7,500.00	-6,936.33	7.5%
Professional Fees	-1,736.00	10,000.00	-11,736.00	-17.4%
Property Maintenance	3,233.05	10,000.00	-6,766.95	32.3%
Property Tax Expense	0.00	0.00	0.00	0.0%
RAA 4-3 (Chobani)				
Debt Pay. (Chobani) Interest	0.00	1,474,262.00	-1,474,262.00	0.0%
Debt Pay. (Chobani) Principal	0.00	2,195,473.00	-2,195,473.00	0.0%
Total RAA 4-3 (Chobani)	0.00	3,669,735.00	-3,669,735.00	0.0%
Real Estate Purchase	0.00	150,000.00	-150,000.00	0.0%
Total Expense	233,098.25	5,818,062.00	-5,584,963.75	4.0%
Net Ordinary Income	-152,742.10	-450,118.00	297,375.90	33.9%
Other Income/Expense				
Other Income				
Transfers In	0.00	-4,254,726.00	4,254,726.00	0.0%
Transfers Out	0.00	4,254,726.00	-4,254,726.00	0.0%
Total Other Income	0.00	0.00	0.00	0.0%
Net Other Income	0.00	0.00	0.00	0.0%
Net Income	-152,742.10	-450,118.00	297,375.90	33.9%

Urban Renewal Agency of the City of Twin Falls, ID
Profit & Loss
December 2024

	Dec 24
Ordinary Income/Expense	
Income	
Investment Income	14,946.48
Property Taxes	10,344.76
Rental Income	3,883.33
Total Income	29,174.57
Gross Profit	29,174.57
Expense	
Legal Expense	1,375.00
Meeting Expense	634.80
Professional Fees	8,400.00
Property Maintenance	433.05
Total Expense	10,842.85
Net Ordinary Income	18,331.72
Net Income	18,331.72

January 2025 Accounts Payable

<u>Check #</u>	<u>Date</u>	<u>Name</u>	<u>Amount</u>	<u>Account</u>	<u>Memo</u>	<u>Class/Fund</u>
4848	1/15/2025	Column Software PBC	854.06	Legal Expense	Southwest RAA City Ord O-2024-021/ #99546C69-08	Southwest
4849	1/15/2025	Elam & Burke	1,078.00	Legal Expense	Professional Fees for December 835-2 / #212376	General
4849	1/15/2025	Elam & Burke	649.00	Legal Expense	Professional Fees for December 835-4 / #212377	Washington St S
4850	1/15/2025	Scooter's	175.84	Meeting Expense	20241216 Meeting Lunch / #20	General



Date: Wednesday, January 22, 2025
To: Urban Renewal Agency of the City of Twin Falls
From: Shawn Barigar, Executive Director

Executive Director's Report

1. The City Council adopted the Urban Renewal Agency Plan for the Southwest Urban Renewal Area Project on December 16. All of the appropriate filings have been completed for the plan, and we are awaiting final communication from the Idaho State Tax Commission.
2. With the Legislative Session underway, I am participating in public policy discussions with a number of professional organizations to which I belong including the Twin Falls Chamber, the Redevelopment Association of Idaho, and the Idaho Economic Development Association. I'll be forwarding along any pertinent information related to the work of the Urban Renewal Agency as well as the regular reports from the legislative advisor for the Redevelopment Association. So far, we've not heard much rumbling about Urban Renewal at the Legislature.
3. The Twin Falls Police Department and the City of Twin Falls are inviting downtown business owners and operators to a listening session to talk about concerns regarding loitering on Main Avenue and in the downtown area. Last summer, in 2024, the Police Department responded to dozens of calls about loitering and other concerning activity in the downtown core. These incidents led to many arrests and citations. Although the loitering activity has slowed during the winter, we want to hear from business owners and operators about how the issues may have affected business and discuss any possible changes to city rules and enforcement before the issue might return in 2025. The meeting will be held on Wednesday, February 5, from 3 pm to 4 pm here at City Hall in the Council Overflow Room on the first floor.
4. Website/marketing update: We are meeting with Rinard Media, who handles our website content, next week to begin updates to the twinfallsidaho.org website. We will be adding a more specific area of the website related to the Urban Renewal Agency. We'll be highlighting Agency-owned properties as well as our Urban Renewal Areas. We'll also be seeking new demographic data sources as the current information was being provided through links on the Idaho Department of Commerce website that is no longer available.

Attachments:

None



Date: Wednesday, January 22, 2025
To: Urban Renewal Agency of the City of Twin Falls
From: Shawn Barigar, Executive Director

ACTION ITEM

Request:

Consider approval of a Second Amendment to the Lease for tenants at Agency-owned property located at 259 Shoshone Street South.

Background:

As part of the purchase of property at 259 Shoshone St. S., the Urban Renewal Agency also assumed a lease agreement with Brian and Tanya Pursifull and Apricot Home LLC. These tenants have been leasing the property since that time with an original new lease in February 2023 and a first amendment to that agreement in 2024.

The first amendment is set to expire on February 28, 2025. In conversation with the tenant, they wish to continue the lease of the property. This proposed second amendment to the lease agreement would renew the lease under the current terms for another 12 months. The amendment also provides for a 60-day termination clause should the Agency or the Tenant wish to end the lease prior to the end of February 2026.

Approval Process:

Majority vote of a quorum of the Agency Commissioners present at the meeting.

Budget Impact:

Renewal of the lease will generate a monthly income of \$600 per month until the lease is terminated.

Regulatory Impact:

N/A

Conclusion:

Agency staff recommends approval of the second amendment to the lease agreement with Apricot Home LLC for agency-owned property located at 259 Shoshone St. S. and to authorize the Chair to sign the amendment document.

Attachments:

1. 259 Shoshone St S Lease 2nd Amendment_20250116

**SECOND AMENDMENT TO COMMERCIAL LEASE AGREEMENT
(259 Shoshone St S, Twin Falls, Idaho 83301)**

THIS SECOND AMENDMENT TO COMMERCIAL LEASE AGREEMENT (“Second Amendment”), is made effective the 1st day of March 2025, by and between The Urban Renewal Agency of the City of Twin Falls, an independent public body corporate and politic, organized under the laws of Idaho (“**Landlord**”) and Brian & Tanya Pursifull dba Apricot Home LLC, an Idaho limited liability company (“**Tenant**”). Landlord and Tenant may be referred to herein as the “Parties” or a “Party” as the case may be. All capitalized terms used and not defined in this Second Amendment shall have the same meaning as set forth in the Lease (as defined below), or as amended by the First Amendment (as defined below).

RECITALS

- A. Landlord and Tenant entered into that certain Commercial Lease Agreement with a Commencement Date of February 1, 2023, (“**Lease**”), for certain premises known as 259 Shoshone Street, Twin Falls, Idaho 83301, as more particularly described in the Lease (“**Premises**”).
- B. The Initial Term of the lease was for twelve (12) months. The Lease contemplated two potential Extension Terms each for a period of three (3) months.
- C. The Base Rent as set forth in the Lease for the Initial Term was Twelve Hundred Dollars (\$1,200.00) per month.
- D. The Parties entered into the First Amendment to Commercial Lease (the “First Amendment”) to amend the Extension Term and the Base Rent amount during the amended Extension Term.
- E. The Parties now wish to enter into this Second Amendment to extend the Lease and to add a termination provision.

NOW THEREFORE, for valuable consideration, the sufficiency of which is agreed and acknowledged by the Parties, the Parties agree the foregoing recitals are not mere recitations but are covenants of the Parties, binding upon them as may be appropriate and a portion of the consideration for the agreements contained herein, and hereby further as follows:

AGREEMENT

1. **Lease Extension.** The Lease Term, as extended, expires on February 28, 2025. The Parties agree to extend the Lease Term for the Premises for a period of twelve (12) months, beginning March 1, 2025, and running through and including February 28, 2026.

2. **Base Rent.** The Base Rent shall be Six Hundred Dollars (\$600.00) per month, beginning on March 1, 2025, paid on the first day of each and every month thereafter for the remainder of the Term.

3. **Termination.** The Lease may be terminated for any reason, without penalty or further liability, by either party on sixty (60) days' prior written notice.

4. **Ratification.** Except as expressly provided for herein, the Lease shall remain unmodified and in full force and effect, and the Parties hereby ratify and affirm each of the terms and conditions contained in the Lease.

5. **Conflict.** In the event of any conflict between the Lease, the First Amendment and this Second Amendment, this Second Amendment shall be deemed to supersede the conflicting term in the Lease and the First Amendment, and this Second Amendment shall control and govern.

6. **Entire Agreement, Other Terms Not Modified.** The Lease, as amended by the First Amendment, and as amended by this Second Amendment, constitutes the entire agreement of the Parties relating to the subject matter hereof. The Lease, as amended, is in full force and effect and remains unaltered, except to the specific extent amended herein. This Second Amendment shall be considered part of the Lease.

7. **Representations.** Each Party represents to the other that it has full power and authority to execute this Second Amendment. Each Party represents to the other that it has not made any assignment, sublease, transfer, conveyance, or other disposition of the Lease or any interest in the Lease or the Premises and has no knowledge of any existing or threatened claim, demand, obligation, liability, action, or cause of action arising from or in any manner connected with the Lease or the Premises by any other Party.

8. **Counterparts/Electronic Signatures.** Signatures transmitted by counterpart via electronic mail shall be deemed original for purposes of creating a valid and binding agreement.

[signature page to follow]

IN WITNESS WHEREOF, the Parties have hereunto set their hands.

Landlord: The Urban Renewal Agency of the
City of Twin Falls

By: _____
Rudy Ashenbrener, Chair

Date: _____

Tenant: Brian & Tanya Pursifull dba
Apricot Home LLC

By: _____
Brian Pursifull

Date: _____

By: _____
Tanya Pursifull

Date: _____

20250116-Lb2



Date: Wednesday, January 22, 2025
To: Urban Renewal Agency of the City of Twin Falls
From: Shawn Barigar, Executive Director

ACTION ITEM

Request:

Presentation of the Budget Study for a Hansen St. East Public Improvement Project and Consideration of Continued Discussion About Future Development Assistance from the Agency.

Background:

At the December 2024 Urban Renewal Agency Board meeting, the Board approved funding for a budget study to determine probable cost for revitalization of Hansen Street East driven by a redevelopment plan presented by Fran Florence, representing Hansen Parkway Developers.

HMH Engineering has completed the study and their report is included in your packet. Aaron Wert with HMH Engineering is available to answer any questions you may have related to this report.

Based upon this report and the preliminary analysis by HMH Engineering, the probable cost of constructing the proposed improvements is between \$544,390 and \$653,270.

Fran Florence, representing Hansen Parkway Developers, has talked with staff about potential next steps related to his private redevelopment and the proposed public improvements outlined in this budget study. He is anticipating a request to the Agency to consider funding of these public improvements at some level.

Staff is seeking direction from the Agency Board to proceed with these conversations with the developer. We'd like to gather additional specific information related to the proposed private development, its anticipated tenant uses, timelines for construction and operation, and anticipated new assessed value of the completed projects. Additionally, we'd explore any additional information that the board may identify today.

Approval Process:

Majority vote of the Board of Commissioners present at a meeting where a quorum is present.

Budget Impact:

N/A

Regulatory Impact:

N/A

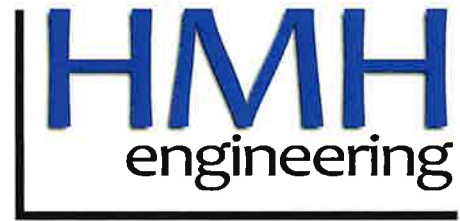
Conclusion:

Agency staff recommends that the Board receive the report and provide any input regarding the budget study. Should the Board desire to continue to pursue potential future development assistance, they should vote to direct staff to work with the developer to gather more specific information and bring that information back at a future meeting.

Attachments:

1. URA Hansen St Estimate 2025.01.15

January 14, 2025



Urban Renewal Agency of the City of Twin Falls
P.O. Box 1907
Twin Falls, ID 83303-1907

RE: Hansen Street, 2nd Avenue E. to 4th Avenue E.

Dear Board Members

HMH Engineering was tasked with developing a project estimate for the revitalization of Hansen Street East from 2nd Avenue East to 4th Avenue East. The project would start at the alley between 2nd Avenue E. and 3rd Avenue E. and continue Northeast to 4th Avenue E. The rehabilitation would generally consist of converting 8 feet of the existing roadway surface into a bi-directional bike, raised-landscaping area as a buffer between bicyclist and vehicle traffic. Traffic would be accommodated in two 11-foot lanes with the raised landscaped areas on each side of the travel way. We have attached typical sections of the improvements proposed.

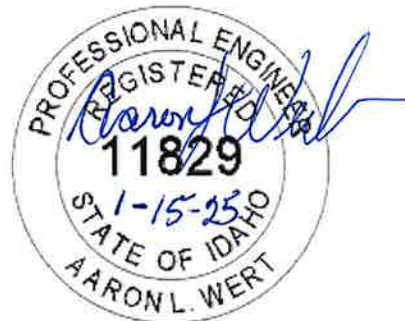
In estimating the cost of this project, we recognized the project will have a small quantities of items and would require significant hand-work to complete the project. The quantities were estimated based on the attached typical sections and standard drawings with lengths were obtained from google earth. HMH where possible used costs from other project with small quantity projects to prepare this estimate. A 20% contingency amount was added due to the conceptual nature of this estimate. Also, an engineering cost of 15% was estimated to develop construction plans and 5% was added for construction inspection of the project.

We estimate the probable cost of construction for the project to be \$ 544,390 and the total probable cost of the project to be \$ 653,270.

Sincerely,

A handwritten signature in blue ink that reads "Aaron L. Wert".

Aaron L. Wert, P.E.
HMH Engineering

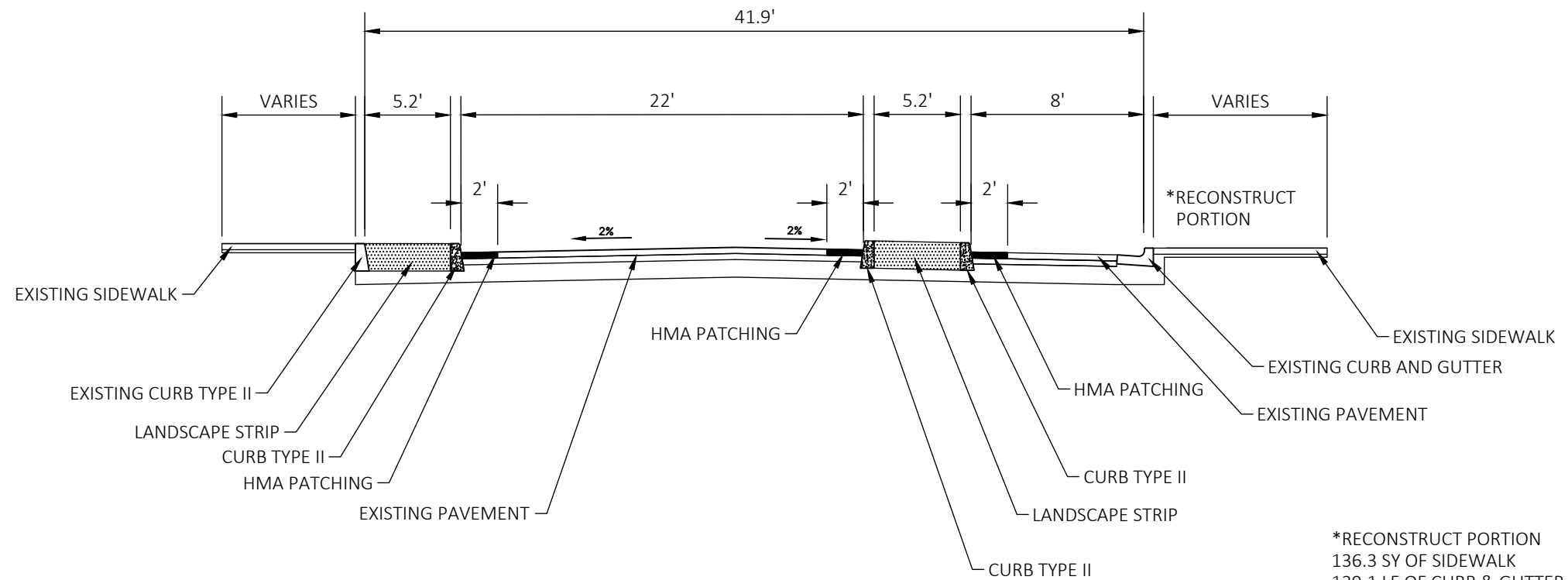


HANSEN STREET 2ND AVE. E - 4TH AVE. E
JANUARY 14, 2025
URBAN RENEWAL AGENCY
OPNION OF PROBABLE COST



Item No.	Description	Unit	Quantity	Bid Unit Price	Bid Amount
201.4.1.D.1	REMOVAL OF SIDEWALK	SY	334	\$ 15.00	\$ 5,002.80
201.4.1.E.1	REMOVAL OF CURB	LF	255	\$ 7.00	\$ 1,785.62
202.4.1.A.1	EXCAVATION	CY	448	\$ 50.00	\$ 22,413.00
706.4.1.A.3	VERTICAL CURB TYPE 2	FT	1200	\$ 65.00	\$ 78,010.40
706.4.1.A.5	CURB AND GUTTER TYPE 2	FT	71	\$ 95.00	\$ 6,729.80
706.4.1.E.1	CONCRETE SIDEWALKS	SY	175	\$ 128.00	\$ 22,432.00
706.4.1.F.1	CONCRETE DRIVEWAY APPROACH	SY	124	\$ 145.00	\$ 18,009.00
706.4.1.H.1	PEDESTRIAN RAMP, TYPE X	EACH	8	\$ 1,500.00	\$ 12,000.00
802.4.1.B.1	CRUSHED AGGR FOR BASE TYPE B	TON	62	\$ 48.00	\$ 2,956.32
803.4.1.A.1	HMA ROADWAY PATCHING	SY	282	\$ 250.00	\$ 70,606.75
1007.4.1.C.1	SOD	SF	4356	\$ 4.25	\$ 18,513.00
TS-100	TREES	Each	35	\$ 500.00	\$ 17,500.00
TS-200	IRRIGATION	LS	1	\$ 15,000.00	\$ 15,000.00
1102.4.1.A.1	DECORATIVE ILLUMINATION	LS	16	\$ 7,500.00	\$ 120,000.00
1103.4.1.A.1	TRAFFIC CONTROL	LS	1	\$ 5,000.00	\$ 5,000.00
1104.4.1.A.1	PAVEMENT LINE PAINT OR PAINTED PAVEMENT MARKINGS	LS	1	\$ 15,000.00	\$ 15,000.00
TS-300	SIDEWALK UNDERDRAIN(SCUPPER)	FT	38	\$ 150.00	\$ 5,700.00
TS-400	SURVEY	LS	1	\$ 15,000.00	\$ 15,000.00
TS-500	DIRECTED SURVEYING CREW	CA	2000	\$ 1.00	\$ 2,000.00
2010.4.1.A.1	MOBILIZATION	LS	1	\$ 68,048.80	\$ 68,048.80
Total of All Unit Price Bid Items					\$ 453,658.69
CONTINGENCY AMOUNT		20%			\$ 90,731.74
Total Construction Cost					\$ 544,390.42
Engineering Cost		15%			\$ 81,658.56
Inspection		5%			\$ 27,219.52
Total Project Cost					\$ 653,268.51

Plot Date: 1/14/2025 2:15 PM Plotted By: Ryan Manalo
Layout: TYP Path: W:\PROJECTS\2024\M24024-URBAN RENEWAL AGENCY\CAD\PLAN SHEETS\M24024 BRDR.DWG



HANSEN ST E. TYPICAL SECTION
N.T.S
2ND AVE. E- 3RD AVE. E



112 E. Shoshone Street, Suite 4
Twin Falls, ID 83301
(208) 358-8900

HANSEN STREET
2ND AVE. E - 4TH AVE. E
URBAN RENEWAL AGENCY
TWIN FALLS, IDAHO
TWIN FALLS COUNTY

NOT
APPROVED
PRELIMINARY
FOR
CONSTRUCTION

1"
SCALE: (11X17 ONLY)

PROJECT NO: M24024
DRAWN BY: R. MANALO
CHECKED BY: A. WERT
DATE: 01/13/2025

© HMH ENGINEERING		
REVISIONS		
NO.	DATE	DESCRIPTION

TYPICAL
SECTIONS

DRAWING:
TYP-1
SHEET: 1 OF 2

HANSEN STREET
2ND AVE. E - 4TH AVE. E
URBAN RENEWAL AGENCY
TWIN FALLS, IDAHO
TWIN FALLS COUNTY

NOT
APPROVED
PRELIMINARY
FOR
CONSTRUCTION

1"
SCALE: (11X17 ONLY)

PROJECT NO: M24024
DRAWN BY: R. MANALO
CHECKED BY: A. WERT
DATE: 01/13/2025

© HMH ENGINEERING

REVISIONS

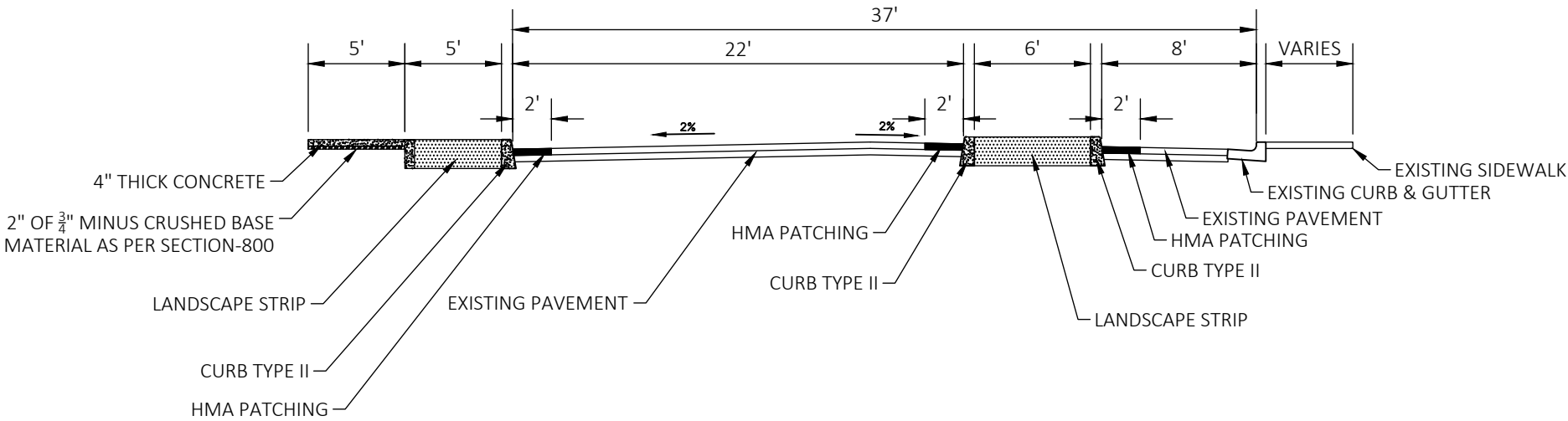
NO.	DATE	DESCRIPTION
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TYPICAL
SECTIONS

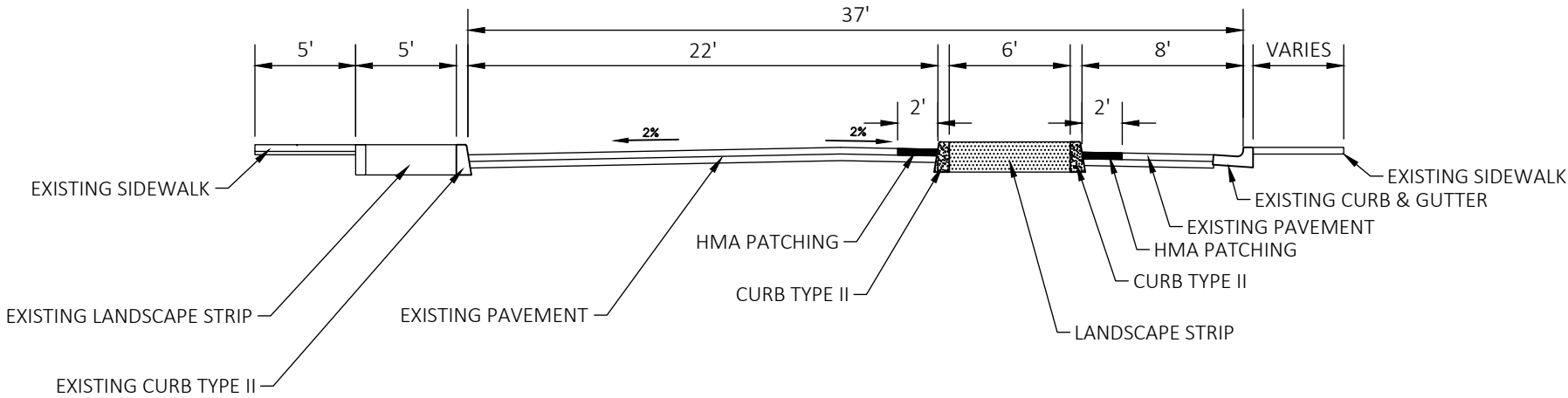
DRAWING:

TYP-1

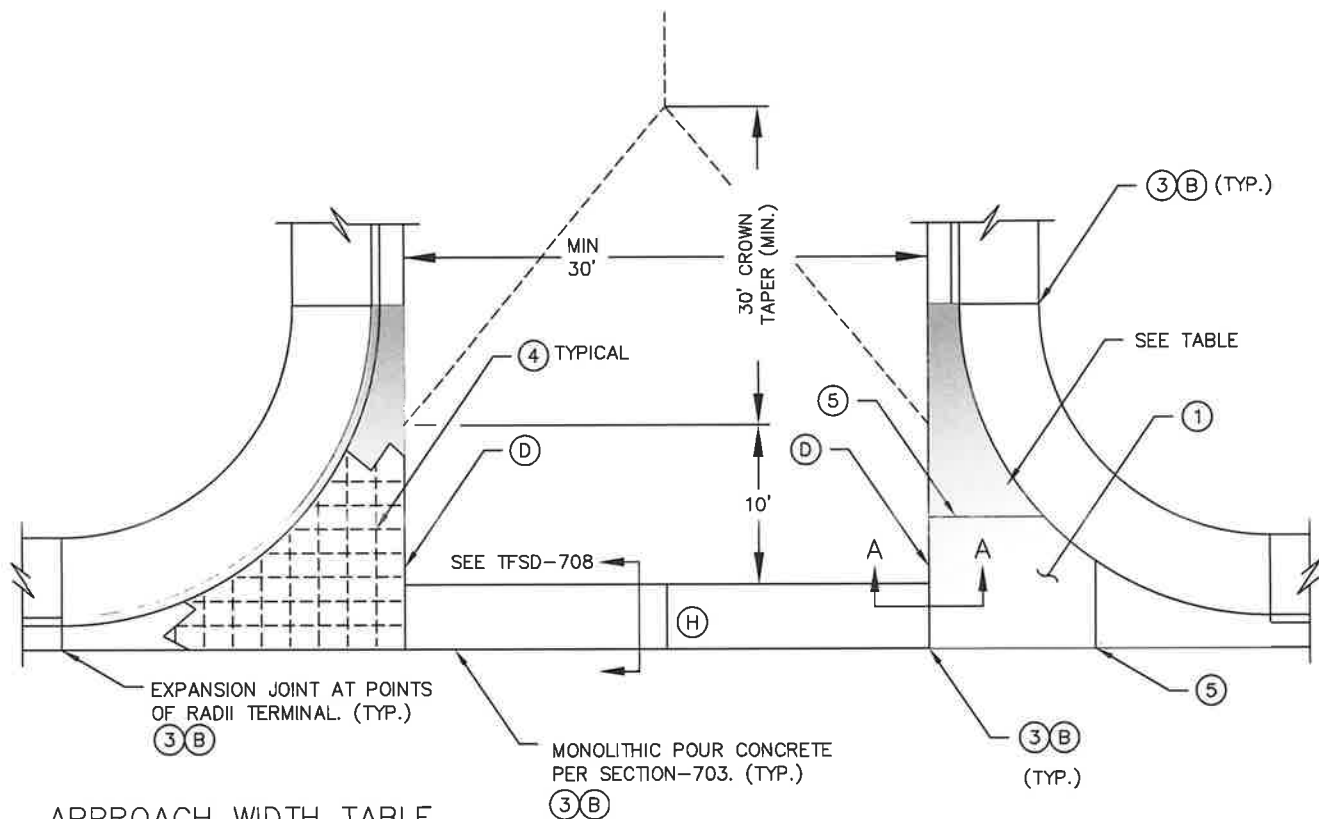
SHEET: 2 OF 2



HANSEN ST E. TYPICAL SECTION
N.T.S
3RD AVE. E TO ALLEY



HANSEN ST E. TYPICAL SECTION
N.T.S
ALLEY TO 4TH AVE. E



APPROACH WIDTH TABLE

COMMERCIAL	30-40 FEET.
TRUCK (WITH CITY ENGINEER'S APPROVAL)	40-65 FEET.

PLAN VIEW

N.T.S

FOC RADIUS	STREET TYPE
*20'	LOCAL
*30'	COLLECTOR/ARTERIAL
40'	WITH CITY ENGINEER'S APPROVAL

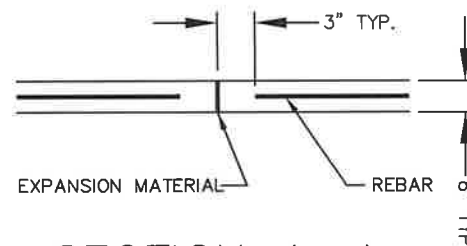
*WHEN TWO DIFFERENT STREET TYPES INTERSECT, USE THE LARGER RADIUS.

LEGEND:

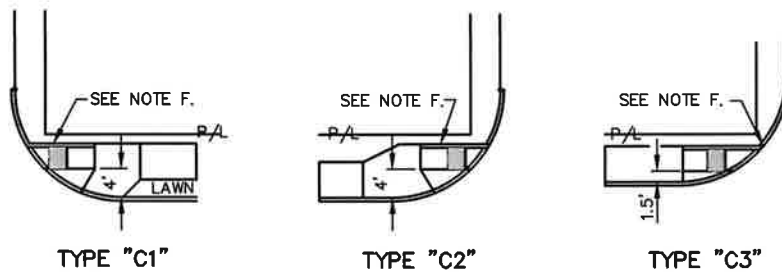
- ① 6" OF 3/4" MINUS CRUSHED AGGREGATE BASE MINIMUM UNDER CURB TURN FILLET. BASE TO BE MINIMUM 6" FOR COMMERCIAL AND TRUCK APPROACHES.
- ② CONCRETE PER ISPMC SECTION 703.
- ③ 1/2" EXPANSION JOINT.
- ④ #4 REBAR AT 18" ON CENTER EACH WAY.
- ⑤ TOOLED JOINT.

NOTES:

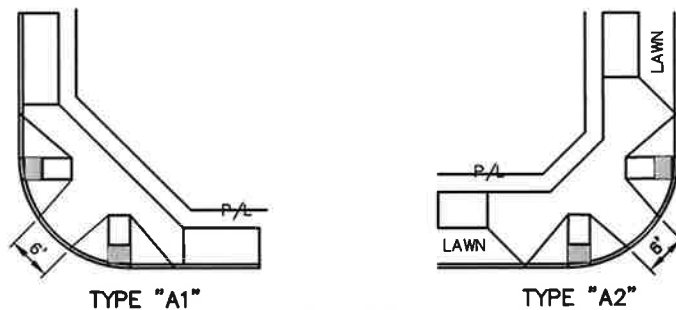
- (A) GRADE OF GUTTER MINIMUM 0.40%, UNLESS APPROVED BY CITY ENGINEER
- (B) EXPANSION JOINT 1/2-INCH PREFORMED JOINT MATERIAL (AASHTO M 213).
- (C) FILLET AND BASE SECTION THICKNESS SHALL MATCH THE VALLEY GUTTER, TYPICAL.
- (D) SHADED AREAS ARE PAY LIMITS FOR CURB TURN FILLET.
- (E) CRACKS OR BROKEN SECTIONS PER CITY OF TWIN FALLS REVISIONS-SECTION 703
- (F) ALL REBAR OVERLAP SHALL BE 15" MINIMUM.
- (G) WHEN SECTIONS OF VALLEY GUTTER ARE REMOVED OR REPLACED THE NEW SECTION SHALL BE DOWELED INTO THE EXISTING CONCRETE 15" INCHES. THE NEW VALLEY GUTTER SECTION SHALL BE NO LESS THAN 6' LONG.
- (H) TOOLED CONTRACTION JOINTS SHALL BE PLACED IN THE VALLEY GUTTER AT 20' FEET INTERVALS OR IF LESS THAN 40' FEET LONG, PLACE ONE IN THE MIDDLE.
- (I) ADA RAMPS NOT SHOWN, SEE STANDARD DRAWING TFSD-712 SERIES. CURB TURN FILLET TO MEET ADA REQUIREMENTS.
- (J) CENTER ISLANDS ONLY ALLOWED WITH CITY ENGINEER APPROVAL.



SECTION A-A



ONE WING / ONE CURB
FOR NON CONTINUOUS SIDEWALK
10' RADIUS (MIN.)



TWO WINGS
10' RADIUS (MIN.)

NOTES:

- (A) THESE STYLES OF RAMPS MAY BE USED WHERE EXISTING STREET CORNERS NEED NEW CURBS AND RAMPS AND THE RADIUS IS 10 FOOT MIN. OR LARGER.
- (B) CURB ON THE RADIUS SHOULD MATCH THE HEIGHT AND STYLE OF THE ADJOINING EXISTING CURB ANY VARIANCE FROM THIS MUST BE APPROVED BY THE OWNER.
- (C) RAMP DIMENSIONS ARE BASED ON THE HEIGHT OF THE CURB. SEE TABLE BELOW.

RAMP DIMENSION TABLE

CURB	3"	4"	5"	6"	7"	8"
DEPTH	4'	5'	6'	7'	8'	9'
WING	3'	4'	5'	6'	7'	8'
THROAT	4'	4'	4'	4'	4'	4'

- (D) ALL RAMPS TO HAVE A 4 FOOT WIDE CONTINUOUS PATH BEHIND THEM FOR PEDESTRIANS.
- (E) ALL RAMP SURFACES MUST BE 12 TO 1 SLOPE TO CONFORM TO A.D.A. REQUIREMENTS.
- (F) RAMP WINGS MAY BE REPLACED BY A 6 INCH WIDE CURB IF RAMP SIDE ABUTS A LAWN OR PLANTER. THE CURB IS 6 INCHES TALL AT BACK OF APPROACH AND MATCHES CURB HEIGHT AT THE STREET.
- (G) ALL CONCRETE ADJOINING THE RADIUS WITHIN AND AROUND THE RAMPS TO BE 5 INCHES THICK WITH 4 INCHES OF 3/4 INCH AGGREGATE BASE.

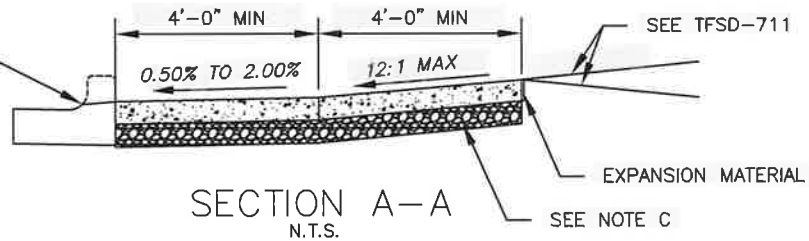
2020

IDAHO STANDARDS
FOR PUBLIC WORKS
CONSTRUCTION

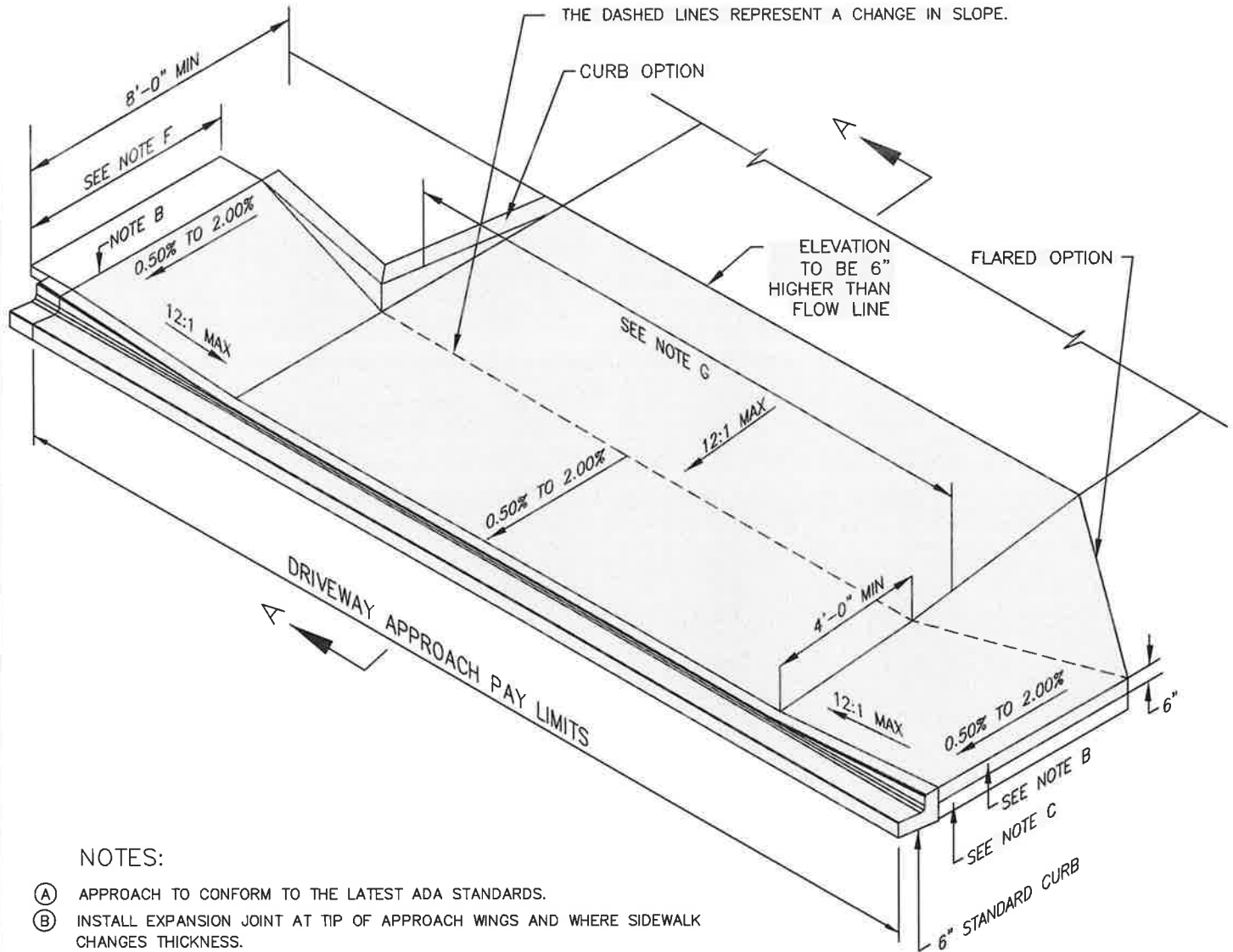
PEDESTRIAN RAMPS WITHIN RADIUS
FOR MODIFYING EXISTING CORNERS

STANDARD DRAWING
NO. SD-712D

1 1/2" HIGH CURB



SECTION A-A
N.T.S.



NOTES:

- (A) APPROACH TO CONFORM TO THE LATEST ADA STANDARDS.
- (B) INSTALL EXPANSION JOINT AT TIP OF APPROACH WINGS AND WHERE SIDEWALK CHANGES THICKNESS.
- (C) BASE TO BE A 4" THICKNESS OF 3/4" MINUS CRUSHED AGGREGATE PER SECTION - 802.
- (D) ALL CONCRETE TO BE 6" THICK FROM TIP OF WING TO TIP OF WING UP TO THE EXPANSION JOINT. WHEN SIDEWALK IS SEPARATE FROM CURB THE SIDEWALK IMMEDIATELY BEHIND THE APPROACH THROAT SHALL BE 6" THICK ALSO.
- (E) ALL CONCRETE SHALL BE CLASS 4000 PER SECTION - 703.
- (F) SIDEWALK WIDTH TO BE 5' MINIMUM UNLESS APPROVED BY THE CITY ENGINEER.
- (G) APPROACH WIDTHS CAN BE FOUND ON TABLE.
- (H) THE SHADED AREAS ARE PAY LIMITS FOR CONCRETE DRIVEWAY APPROACH.
- (I) DRIVEWAY APPROACHES BETWEEN 20' AND 30' WIDE SHALL HAVE 1 CONTRACTION JOINT CENTERED. DRIVEWAY APPROACHES OVER 30' WIDE SHALL HAVE CONTRACTION JOINTS EVENLY SPACED (MAXIMUM SPACING 15').

APPROACH WIDTH TABLE

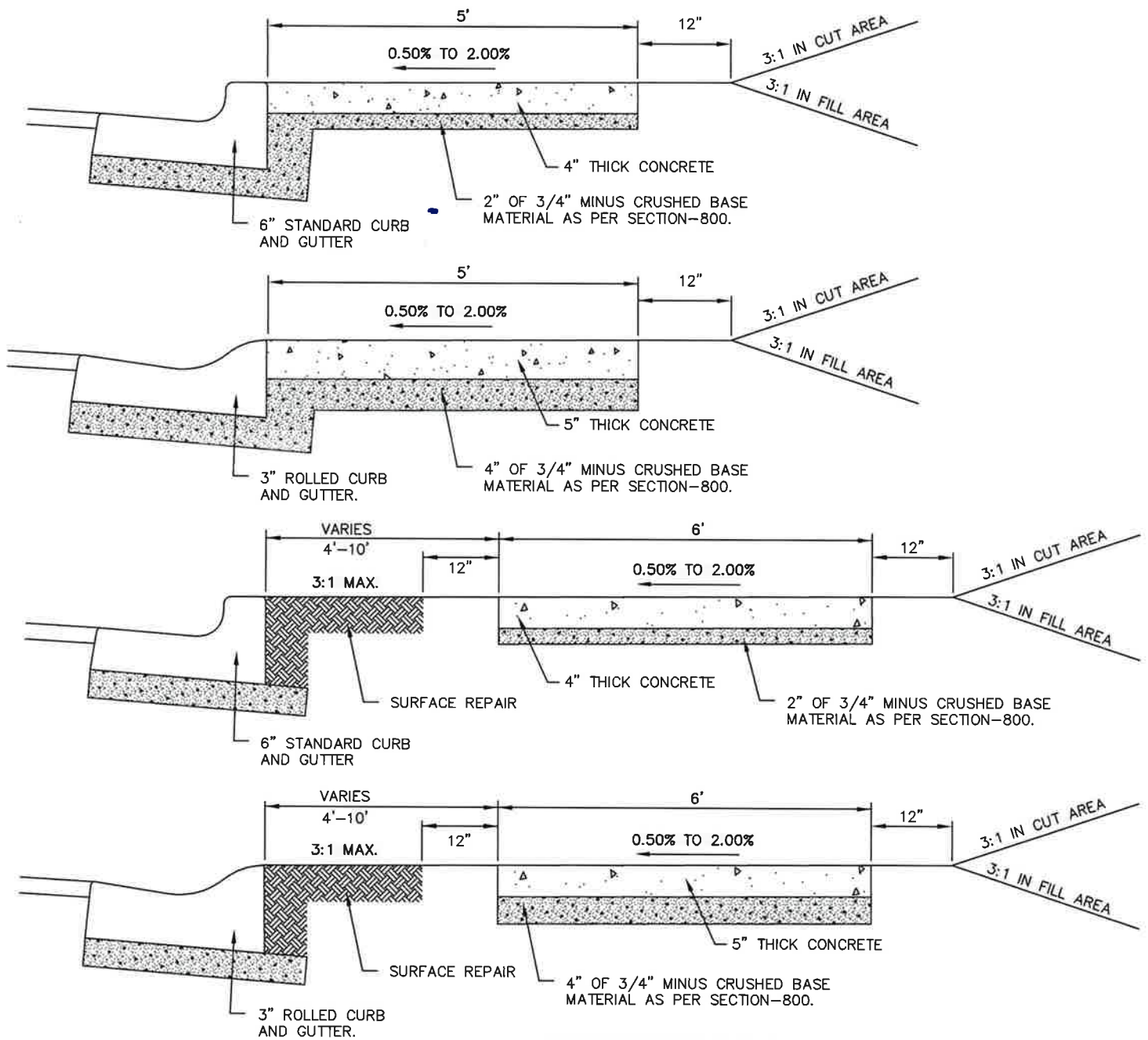
Residential	12-36 feet
Joint Use	20-40 feet

2020

CITY
OF
TWIN FALLS

RESIDENTIAL DRIVEWAY WITH
RAMPED SIDEWALK

STANDARD DRAWING
NO. TFSD-710B



NOTES:

- (A) LOCATION, GRADE, AND WIDTH TO BE ESTABLISHED OR APPROVED BY THE OWNER.
- (B) BASE TO BE COMPACTED TO EXCEED 95% OF STANDARD DENSITY.
- (C) SLOPE SIDEWALK TOWARD THE STREET NO LESS THAN 0.50% AND NOT TO EXCEED 2.00%.
- (D) JOINTS TO BE IN ACCORDANCE WITH THE JOINT TABLE.
- (E) EXPANSION JOINTS SHALL BE 1/2" TRANSVERSE PREFORMED BITUMINOUS MATERIAL. CONTROL AND CONTRACTION JOINTS TO BE PER CITY OF TWIN FALLS REVISIONS - SECTION 706.
- (F) DRIVEWAY APPROACH ACROSS PLANTER STRIP TO BE 5" MINIMUM CONCRETE OVER 4" OF 3/4" MINUS CRUSHED BASE.
- (G) SIDEWALK WIDTH TO BE 5' MINIMUM UNLESS APPROVED BY THE CITY ENGINEER.
- (H) ON SIDEWALKS IN COMMERCIAL AREAS WHERE THE WALK EXTENDS FROM THE BUILDING TO THE CURBING, OR EXCEEDS THE STANDARD FIVE (5) FEET WIDTH, THE WALK SHALL BE LAID OUT IN BLOCKS NOT TO EXCEED TEN (10) FEET BY TEN (10) FEET SQUARES.
- (I) EXPANSION MATERIAL SHALL BE USED TO SEPARATE NEW SIDEWALK FROM EXISTING SIDEWALK. A 5 FOOT TRANSITION PANEL SHALL BE CONSTRUCTED TO SEPARATE EXISTING SIDEWALK THAT IS NOT ADA COMPLIANT WITH NEW ADA COMPLIANT SIDEWALK UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.

JOINTS		
CURB & GUTTER (TRANSVERSE)	*10'	**100'
SIDEWALK (TRANSVERSE)	*5'	**100'
SIDEWALK (LONGITUDINAL)	**CONTINUOUSLY BETWEEN PERMANENT FOUNDATIONS	
APPROACHES	*PER STANDARD DRAWINGS	**BOTH SIDES
ADA RAMPS	*PER STANDARD DRAWINGS	**BOTH SIDES
ALL CORNER RADII (C&G, SIDEWALK, AND ADA RAMPS)	*PER STANDARD DRAWINGS	**BOTH SIDES

*CONTROL/CONTRACTION
**EXPANSION



Date: Wednesday, January 22, 2025
To: Urban Renewal Agency of the City of Twin Falls
From: Shawn Barigar, Executive Director

DISCUSSION

Request:

2025 Priorities for Agency Owned Properties.

Background:

The Phased Implementation Plan synthesizes recommendations made in the Downtown Master Plan and itemizes them into actionable opportunity projects. Each opportunity is assigned to a recommended phase according to its anticipated impact, current feasibility, and catalytic potential. Generally, the plan calls for Phase 1 projects to be high-priority opportunities central to the Downtown core. Phase 2 expands and densifies the Downtown core while adding office, retail, and housing on the edges. Phase 3 continues to fill out the Downtown core, extends streetscape improvements to the edges, and adds anchor development at the Rock Creek Rim.

While this plan provides vision on potential projects, it offers only general guidance on where to start with Agency-initiated projects.

Today's discussion is designed to review the Phased Implementation Plan of the Downtown Master Plan, particularly Phase 1 and Phase 2 opportunities and to align this vision to specific strategies for 2025. The goal is to prioritize desired use/development for the various Agency-owned properties in the Downtown core and consider implementing a Request for Proposal process for these properties.

Specifically, we will focus on property at 2nd and Hansen, 3rd and Shoshone, the former Step-Ken property, and the former Globe Seed & Feed property.

Approval Process:

N/A

Budget Impact:

N/A

Regulatory Impact:

N/A

Conclusion:

The discussion should provide direction on how to move forward with potential requests for proposal for any or all of the Agency-owned properties identified in the presentation. Any formal actions required to advance these requests would come back before the Board for consideration at a future date.

Attachments:

1. Downtown Master Plan Phase Prioritization
2. URA Property Map as of 20230930



POTENTIAL DEVELOPMENT BUILDOUT - 2028

	HOUSING	
	Existing Inventory:	205,000 SF
	Phase 1:	300,000 SF
	Phase 2:	
	Phase 3:	
	TOTAL NEW:	300,000 SF
	RETAIL	
	Existing Inventory:	1,050,000 SF
	Phase 1:	115,000 SF
	Phase 2:	
	Phase 3:	
	TOTAL NEW:	115,000 SF
	OFFICE	
	Existing Inventory:	1,045,000 SF
	Phase 1:	25,000 SF
	Phase 2:	
	Phase 3:	
	TOTAL NEW:	25,000 SF
	HOTEL	
	Existing Inventory:	45,000 SF
	Phase 1:	30,000 SF
	Phase 2:	
	Phase 3:	
	TOTAL NEW:	30,000 SF
	CONVENTION	
	Existing Inventory:	0 SF
	Phase 1:	0 SF
	Phase 2:	
	Phase 3:	
	TOTAL NEW:	0 SF
	STRUCTURED PARKING	
	Existing Inventory:	0 SF
	Phase 1:	0 SF
	Phase 2:	
	Phase 3:	
	TOTAL NEW:	0 SF
Urban Renewal District boundary		

PHASED IMPLEMENTATION PLAN

The Phased Implementation Plan synthesizes recommendations made in the Downtown Master Plan and itemizes them into actionable opportunity projects. Each opportunity is assigned to a recommended phase according to its anticipated impact, current feasibility, and catalytic potential.

Phase 1 is reserved for high-priority opportunities central to the Downtown core, particularly along Hansen Street and 2nd Avenue S. Connecting the energy of Main Ave to the Warehouse District will begin to create a cohesive, concentrated Downtown environment. At Rock Creek, restoring the waterways and expanding the park further down the Canyon with extended trails should be prioritized to build momentum on Rock Creek becoming an urban amenity and Downtown destination. Opportunities in this phase are targeted for completion in the next five years, by 2028.

Phase 2 expands and densifies the Downtown core while adding office, retail, and housing on the edges. Development of the Innovation District begins here with the addition of creative offices, live-work studios, and a maker’s space renovation. Additionally, the destination park at Rock Creek Rim is constructed here in this phase targeted for completion in the next ten years, by 2033.

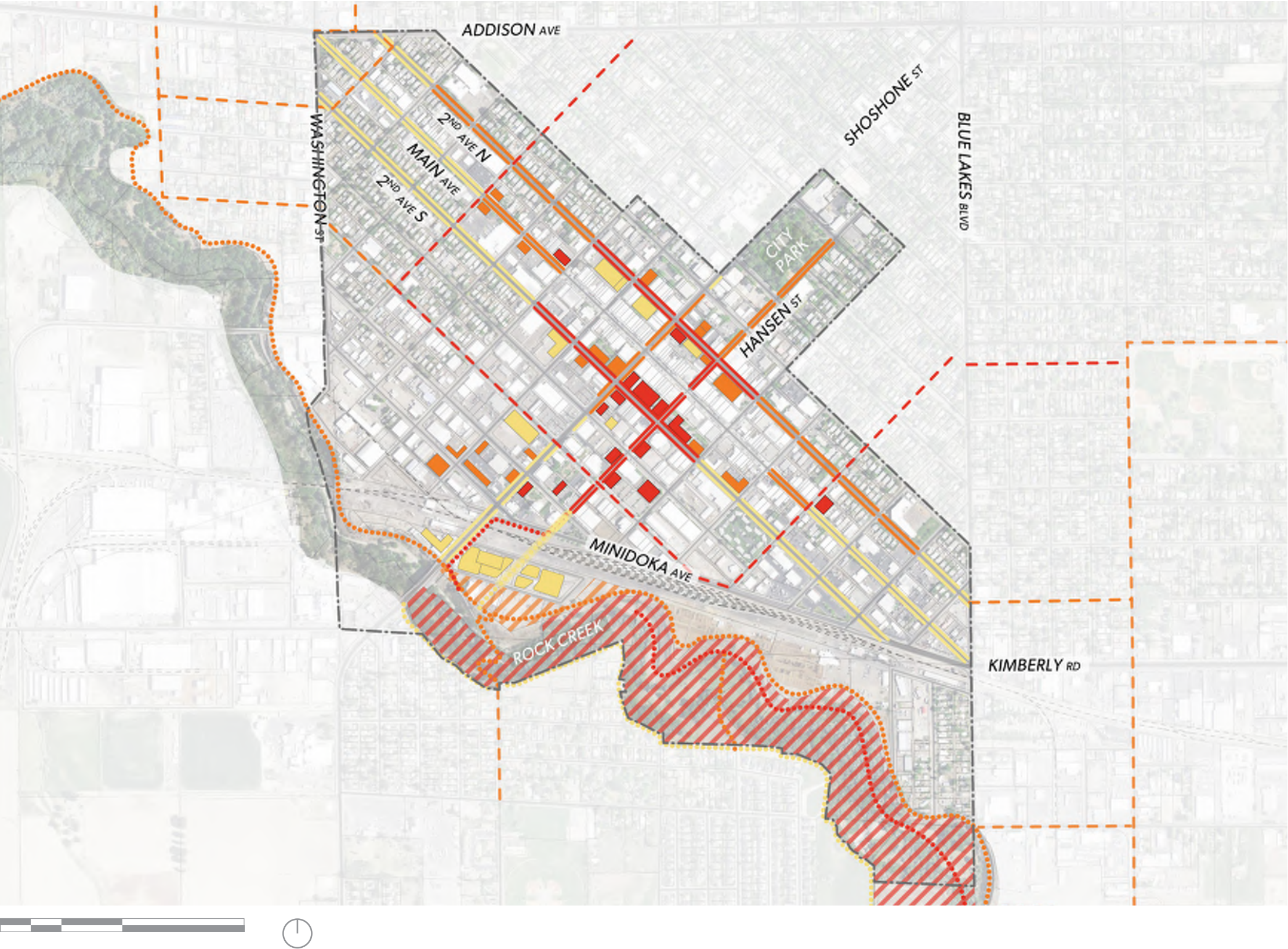
Phase 3 continues to fill out the Downtown core, extends streetscape improvements to the edges, and adds anchor development at the Rock Creek Rim.

Phase 1

Phase 2

Phase 3

Urban Renewal District boundary





PHASE 1 DEVELOPMENT OPPORTUNITIES

The following development opportunities have been identified as key catalysts for advancing the vitality and continued growth of Downtown. Phase 1 opportunities are targeted for completion in five years by 2028. For a comprehensive list of all Downtown development opportunities, see the Implementation Matrix.

- Potential Development on City-Owned Parcels*

Potential Development on Privately Owned Parcels

Potential Parks
- Streetscape Enhancement Projects

Multi-Use Path Projects

Bicycle Facility Projects

Urban Renewal District boundary

Streetscape Enhancements

- 1. 2nd Ave N
- 2. 2nd Ave S
- 3. Hansen St S

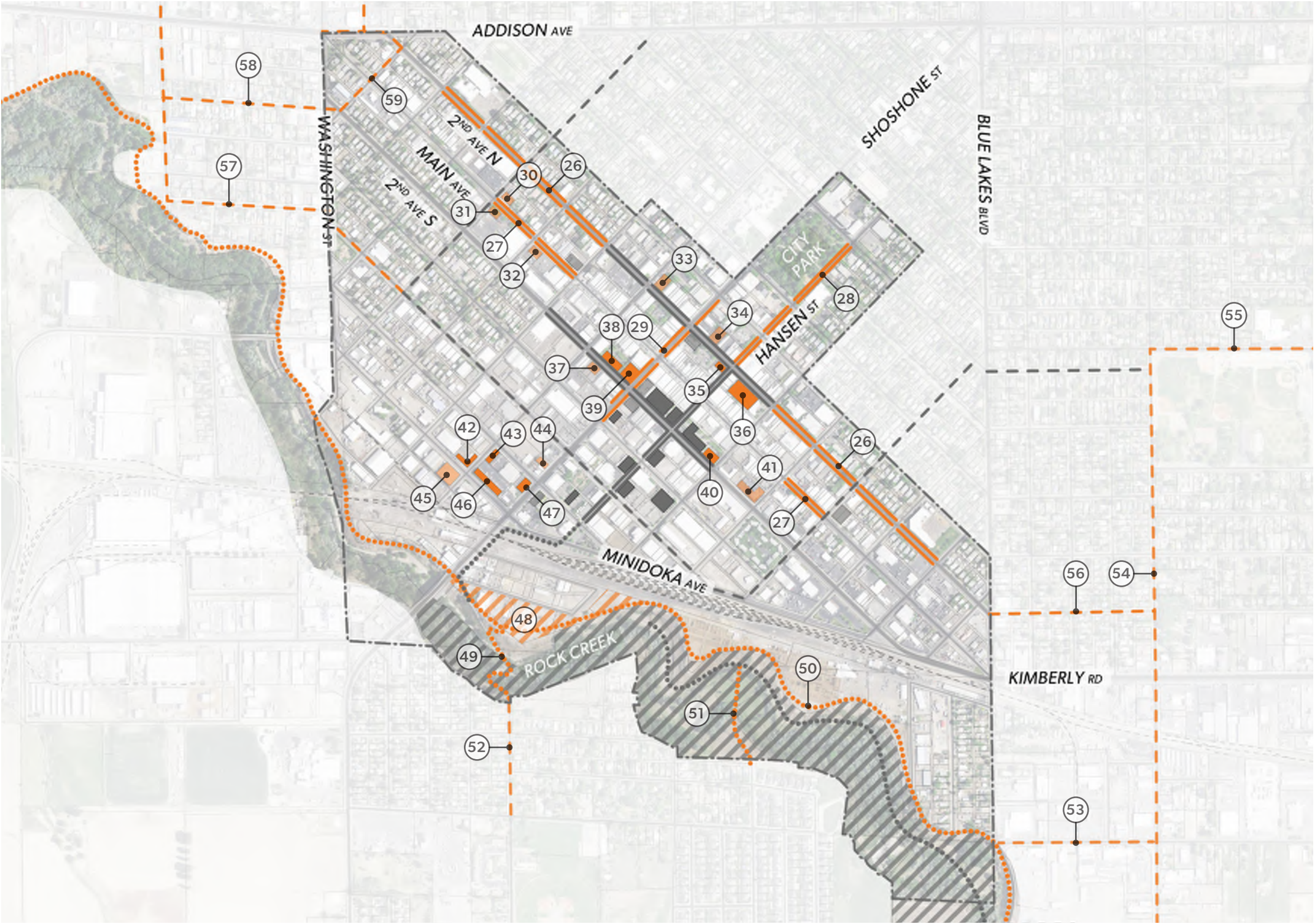
Development

- 4. Mixed Use at 3rd St W
- 5. Mixed Use at 2nd Ave N & Shoshone St
- 6. Mixed Use at 2nd Ave S & Shoshone St
- 7. Parking Deck at 2nd S*
- 8. Mixed Use at 2nd Ave S & Hansen St*
- 9. Mixed Use at 2nd Ave S*
- 10. Retail at Main Ave S & Ketchum St
- 11. Retail at 2nd Ave S & Shoshone St
- 12. Retail at 3rd Ave W & Shoshone St*
- 13. Mixed Use at 3rd Ave W & Hansen St*
- 14. Boutique Hotel at Hansen St*
- 15. Children's Museum*
- 16. Mixed Use at 4th Ave W & Hansen St*
- 17. Mixed Use at 5th Ave S*
- 18. Retail at 5th Ave S & Shoshone St

Parks + Paths

- 19. Rock Creek Canyon Park
- 20. Enhanced Pedestrian Crossing at Railroad
- 21. Extended Rock Creek Canyon Trail
- 22. 4th Ave S Bike Sharrows
- 23. Dierkes St Bike Sharrows
- 24. Ketchum St Bike Sharrows
- 25. N 6th Ave Bike Sharrows





PHASE 2 DEVELOPMENT OPPORTUNITIES

The following development opportunities have been identified as key catalysts for advancing the vitality and continued growth of Downtown. Phase 2 opportunities are targeted for completion in ten years by 2033. For a comprehensive list of all Downtown development opportunities, see the Implementation Matrix.

- Potential Development on City-Owned Parcels*
- Potential Development on Privately Owned Parcels
- Potential Parks
- Streetscape Enhancement Projects
- Multi-Use Path Projects
- Bicycle Facility Projects
- Urban Renewal District boundary

Streetscape Enhancements

- 26. 2nd Ave N Schools Extension
- 27. Main Ave Core
- 28. Hansen St N
- 29. Shoshone Core

Development

- 30. Mixed Use at Main Ave N & Dierkes St N
- 31. Mixed Use at Main Ave N & Dierkes St S
- 32. Mixed Use at Main Ave N & 4th St W
- 33. Mixed Use at 2nd Ave N & Gooding St I
- 34. Mixed Use at 2nd Ave E
- 35. Retail at 2nd Ave E & Hansen St N*
- 36. Parking Deck at 2nd Ave E*
- 37. Mixed Use at 2nd Ave W I
- 38. Mixed Use at 2nd Ave W II*
- 39. Office/Retail at 2nd Ave W & Shoshone St*
- 40. Retail at 2nd Ave S & Idaho St*
- 41. Mixed Use at 2nd Ave S & Jerome St
- 42. Live/Work Units*
- 43. Studios at 5th Ave S & Gooding St*
- 44. Retail Renovation at Shoshone St S
- 45. Maker Spaces Renovation
- 46. Studios Renovation*
- 47. Retail at 5th Ave S & Shoshone St*

Parks + Paths

- 48. Rock Creek Rim Park
- 49. Enhanced Canyon Access Trail
- 50. Northern Canyon Rim Trail
- 51. Neighborhood Access Trail
- 52. Lois St Bike Lanes
- 53. Canyon St Bike Lanes
- 54. Madrona St Bike Lanes
- 55. Elizabeth Blvd Bike Lanes
- 56. 2nd Ave E Bike Sharrows
- 57. 4th Ave W Bike Sharrows
- 58. 2nd Ave W Bike Sharrows
- 59. Albion St Bike Sharrows

IMPLEMENTATION MATRIX

The Phased Implementation Plan synthesizes recommendations made in the Downtown Master Plan and itemizes them into actionable opportunity projects. Each opportunity is assigned to a recommended phase according to its anticipated impact, current feasibility, and catalytic potential.

Phase 1 is reserved for high-priority opportunities central to the Downtown core, particularly along Hansen Street and 2nd Avenue S. Connecting the energy of Main Ave to the Warehouse District will begin to create a cohesive, concentrated Downtown environment. At Rock Creek, restoring the waterways and expanding the park further down the Canyon with extended trails should be prioritized to build momentum on Rock Creek becoming an urban amenity and Downtown destination. Opportunities in this phase are targeted for completion in the next five years, by 2028.

Phase 2 expands and densifies the Downtown core while adding office, retail, and housing on the edges. Development of the Innovation District begins here with the addition of creative offices, live-work studios, and a maker’s space renovation. Additionally, the destination park at Rock Creek Rim is constructed here in this phase targeted for completion in the next ten years, by 2033.

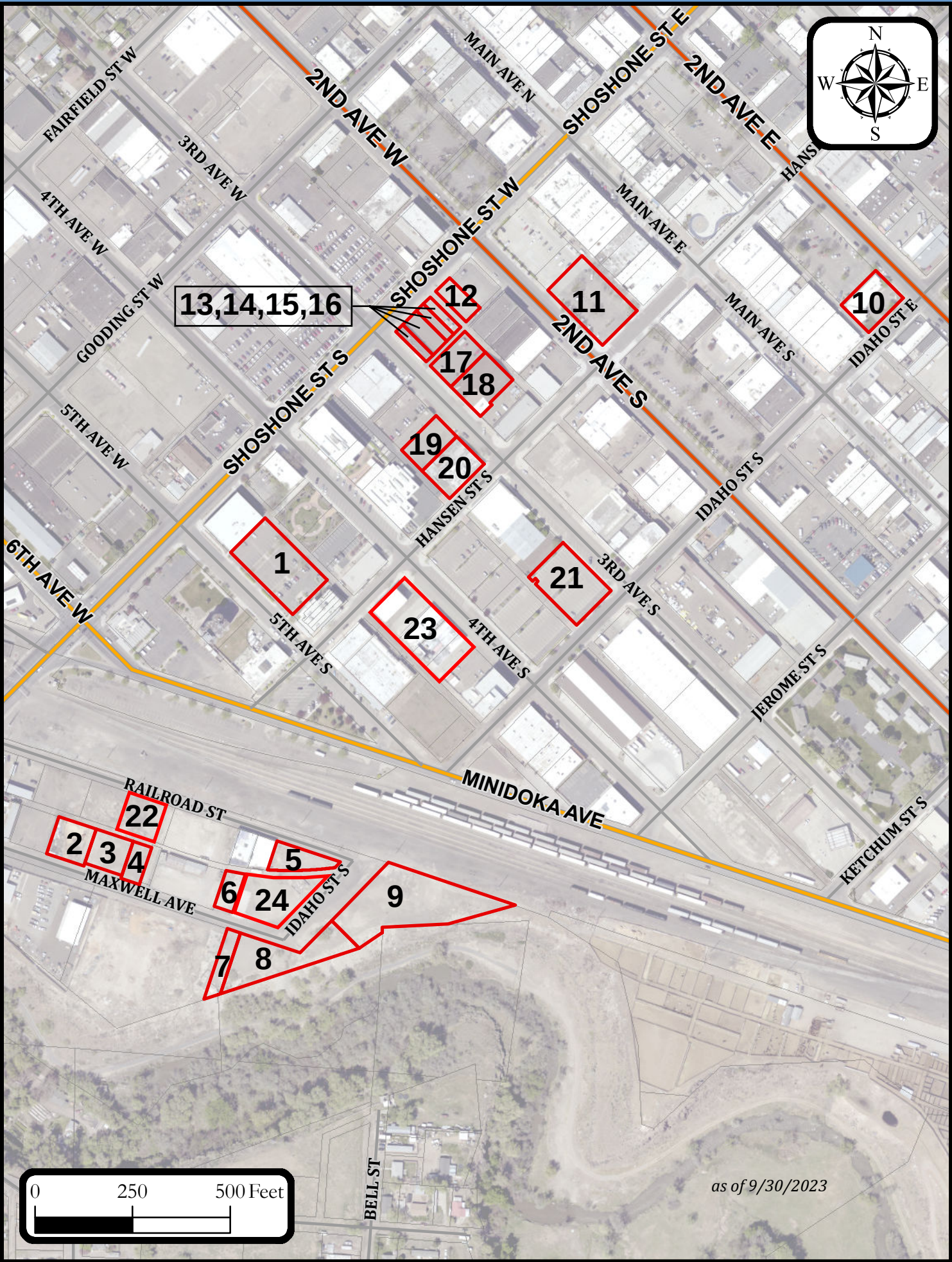
Phase 3 continues to fill out the Downtown core, extends streetscape improvements to the edges, and adds anchor development at the Rock Creek Rim.

Item	Project	Notes	Phase	Lead/Partner	Funding Mechanism
Phase 1 Streetscape Enhancements					
1	2nd Ave N Streetscape Enhancements	Provide safety enhancements by reducing lane count and width, expanding sidewalks, and adding planting strips and protected bike lanes.	1	URA/Public Works	URA/City funded
2	2nd Ave S Streetscape Enhancements	Provide safety enhancements by reducing lane count and width, expanding sidewalks, and adding planting strips and a protected bike lane.	1	URA/Public Works	URA/City funded
3	Hansen St S Streetscape Enhancements	Convert Hansen St into a park-like green street (woonerf) with expanded sidewalks, plaza space, and plantings.	1	URA/Public Works	URA/City funded
Phase 1 Development Opportunities					
4	Mixed Use at 3rd St W		1	URA/private developer	URA developer RFP
5	Mixed Use at 2nd Ave N & Shoshone St		1	URA/private developer	URA developer RFP
6	Mixed Use at 2nd Ave S & Shoshone St		1	URA/private developer	URA developer RFP
7	Parking Deck at 2nd S*	Convert existing surface parking lot into structured parking deck as parking demand increases.	1	URA/private developer	URA developer RFP
8	Mixed Use at 2nd Ave S & Hansen St*		1	URA/private developer	URA developer RFP
9	Mixed Use at 2nd Ave S*		1	URA/private developer	URA developer RFP
10	Retail at Main Ave S & Ketchum St		1	URA/private developer	URA developer RFP
11	Retail at 2nd Ave S & Shoshone St		1	URA/private developer	URA developer RFP
12	Retail at 3rd Ave W & Shoshone St*		1	URA/private developer	URA developer RFP
13	Mixed Use at 3rd Ave W & Hansen St*		1	URA/private developer	URA developer RFP
14	Boutique Hotel at Hansen St*		1	URA/private developer	URA developer RFP
15	Children’s Museum*		1	URA/private developer	URA developer RFP
16	Mixed Use at 4th Ave W & Hansen St*		1	URA/private developer	URA developer RFP
17	Mixed Use at 5th Ave S*		1	URA/private developer	URA developer RFP
18	Retail at 5th Ave S & Shoshone St		1	URA/private developer	URA developer RFP
Phase 1 Parks and Paths					
19	Rock Creek Canyon Park	Expand the current park in Rock Creek Canyon to extend southeast to the edge of the Urban Renewal District boundary and continue ecological restoration of Rock Creek.	1	URA/Parks & Rec	URA/City funded
20	Enhanced Pedestrian Crossing at Railroad		1	URA/Public Works	URA/City funded

Item	Project	Notes	Phase	Lead/Partner	Funding Mechanism
21	Extended Rock Creek Canyon Trail	Expand the current trail in Rock Creek Canyon to extend southeast to the edge of the Urban Renewal District boundary and add recommended amenities.	1	URA/Parks & Rec	URA/City funded
22	4th Ave S Bike Sharrows	Add sharrows to 4th Ave S to indicate a shared vehicle/bike lane and to complete a bike-friendly loop Downtown.	1	Public Works	City funded
23	Dierkes St Bike Sharrows	Add sharrows to Dierkes St to indicate a shared vehicle/bike lane and to complete a bike-friendly loop Downtown.	1	Public Works	City funded
24	Ketchum St Bike Sharrows	Add sharrows to Ketchum St to indicate a shared vehicle/bike lane and to complete a bike-friendly loop Downtown.	1	Public Works	City funded
25	N 6th Ave Bike Sharrows	Add sharrows to N 6th Ave to indicate a shared vehicle/bike lane and to complete a bike-friendly loop Downtown.	1	Public Works	City funded
Phase 2 Streetscape Enhancements					
26	2nd Ave N Schools Extension Streetscape Enhancements	Extend 2nd Ave N Streetscape Enhancements to Bickel and Lincoln Elementary Schools to improve safety conditions for bikers and pedestrians.	2	URA/Public Works	URA/City funded
27	Main Ave Core Streetscape Enhancements	Extend Main Ave streetscape improvements to the edge of the 8-block core.	2	URA/Public Works	URA/City funded
28	Hansen St N Streetscape Enhancements	Continue Hansen St Streetscape Enhancements north to City Park.	2	URA/Public Works	URA/City funded
29	Shoshone Core Sidewalk Enhancements	Provide safety enhancements at pedestrian crossings, expand sidewalks, and add street trees.	2	URA/Public Works	URA/City funded
Phase 2 Development Opportunities					
30	Mixed Use at Main Ave N & Dierkes St N		2	URA/private developer	URA developer RFP
31	Mixed Use at Main Ave N & Dierkes St S		2	URA/private developer	URA developer RFP
32	Mixed Use at Main Ave N & 4th St W		2	URA/private developer	URA developer RFP
33	Mixed Use at 2nd Ave N & Gooding St I		2	URA/private developer	URA developer RFP
34	Mixed Use at 2nd Ave E		2	URA/private developer	URA developer RFP
35	Retail at 2nd Ave E & Hansen St N*		2	URA/private developer	URA developer RFP
36	Parking Deck at 2nd Ave E*	Convert existing surface parking lot into structured parking deck as parking demand increases.	2	URA	URA/City funded
37	Mixed Use at 2nd Ave W I		2	URA/private developer	URA developer RFP
38	Mixed Use at 2nd Ave W II*		2	URA/private developer	URA developer RFP
39	Office/Retail at 2nd Ave W & Shoshone St*		2	URA/private developer	URA developer RFP
40	Retail at 2nd Ave S & Idaho St*		2	URA/private developer	URA developer RFP
41	Mixed Use at 2nd Ave S & Jerome St		2	URA/private developer	URA developer RFP

Item	Project	Notes	Phase	Lead/Partner	Funding Mechanism
42	Live/Work Units*		2	URA/private developer	URA developer RFP
43	Studios at 5th Ave S & Gooding St*		2	URA/private developer	URA developer RFP
44	Retail Renovation at Shoshone St S		2	URA/private developer	URA developer RFP
45	Maker Spaces Renovation		2	URA/private developer	URA developer RFP
46	Studios Renovation*		2	URA/private developer	URA developer RFP
47	Retail at 5th Ave S & Shoshone St*		2	URA/private developer	URA developer RFP
Phase 2 Parks + Paths					
48	Rock Creek Rim Park	Create a new 5-acre regional park at Rock Creek Rim to serve as a recreational destination and as the Downtown gateway to Rock Creek.	2	URA/Parks & Rec	URA/City funded
49	Enhanced Canyon Access Trail		2	URA/Parks & Rec	URA/City funded
50	Northern Canyon Rim Trail	Establish a multi-use path along the northern rim of Rock Creek Canyon.	2	URA/Parks & Rec	URA/City funded
51	Neighborhood Access Trail		2	URA/Parks & Rec	URA/City funded
52	Lois St Bike Lanes	Add bike lanes to Lois St to connect South Park to the trail network at Rock Creek.	2	Public Works	City funded
53	Canyon St Bike Lanes	Add bike lanes to Canyon St to connect Madrona St Bike Lanes to Rock Creek Canyon.	2	Public Works	City funded
54	Madrona St Bike Lanes		2	Public Works	City funded
55	Elizabeth Blvd Bike Lanes		2	Public Works	City funded
56	2nd Ave E Bike Sharrows		2	Public Works	City funded
57	4th Ave W Bike Sharrows		2	Public Works	City funded
58	2nd Ave W Bike Sharrows		2	Public Works	City funded
59	Albion St Bike Sharrows		2	Public Works	City funded
Phase 3 Streetscape Enhancements					
60	Main Ave Extensions Streetscape Enhancements		3	URA/Public Works	URA/City funded
61	2nd Ave N Extensions Streetscape Enhancements		3	URA/Public Works	URA/City funded
62	2nd Ave S Extensions Streetscape Enhancements		3	URA/Public Works	URA/City funded
63	Shoshone St Extensions Streetscape Enhancements		3	URA/Public Works	URA/City funded
64	Hansen St Pedestrian Bridge	Build a landmark pedestrian crossing with a signature design over the railroad at Hansen St, linking Downtown with Rock Creek.	3	URA/Public Works	URA/City funded
Phase 3 Development Opportunities					
65	Parking Deck at 2nd Ave N*	Convert existing surface parking lot into structured parking deck as parking demand increases.	3	URA	URA/City funded

Item	Project	Notes	Phase	Lead/Partner	Funding Mechanism
66	Mixed Use at 2nd Ave N & Gooding St II		3	URA/private developer	URA developer RFP
67	Mixed Use at 2nd Ave N*		3	URA/private developer	URA developer RFP
68	Mixed Use at 2nd Ave E*		3	URA/private developer	URA developer RFP
69	Residential at 2nd Ave W & Gooding St		3	URA/private developer	URA developer RFP
70	Office/Retail at 3rd Ave W*		3	URA/private developer	URA developer RFP
71	Business Forum		3	URA/private developer	URA developer RFP
72	Mixed Use at Canyon Rim & Shoshone St		3	URA/private developer	URA developer RFP
73	Hotel (with Parking Deck and Retail) at Rock Creek*	Develop a landmark hotel with a signature design adjacent to Rock Creek Rim Park to increase Twin Falls’ status as a regional center.	3	URA/private developer	URA developer RFP
74	Convention Center at Rock Creek*	Develop a landmark convention center with a signature design adjacent to Rock Creek Rim Park to increase Twin Falls’ status as a regional center.	3	URA/private developer	URA developer RFP
Phase 3 Parks + Paths					
75	Southern Canyon Rim Trail	Establish a multi-use path along the southern rim of Rock Creek Canyon.	3	URA/Parks & Rec	URA/City funded
76	Northwest Gateway Park	Create a landscaped park with features that signify the northwest entry to Downtown.	3	URA/Parks & Rec	URA/City funded
77	Northeast Gateway Park	Create a landscaped park with features that signify the northeast entry to Downtown.	3	URA/Parks & Rec	URA/City funded
78	Southeast Gateway Park	Create a landscaped park with features that signify the southeast entry to Downtown.	3	URA/Parks & Rec	URA/City funded



13,14,15,16

as of 9/30/2023