



Twin Falls Planning & Zoning Commission Agenda

Tuesday, October 13, 2020, 6:00 PM

203 Main Avenue East
Twin Falls, ID 83301

Council Chambers

Members -

City Limits: Danielle Titus, Chairperson; Craig Kelley, Vice-Chair; Ed Musser; Carolyn Bolton; Curtis Hansen; Marilu Perez

Area of Impact: David Detweiler

1) Call In Instructions

- a) To call in for Public Comment on the items on this agenda, please call 1-208-939-6718, Conference ID: 354 903 709#. Calls must be received between 6:00 pm - 6:10 pm and will be put into the queue to speak during the Public Hearing portion of the meeting.

2) Confirmation of Quorum/Call Meeting to Order

3) Consent Calendar

- a) **ACTION ITEM:** Approval of minutes for the following meeting: September 22, 2020

4) Items of Consideration

- a) **INFORMATIONAL:** Preliminary Presentation for Request for Annexation with a Zoning District Change and Zoning Map Amendment from R2 to RM ZDA for 11.08 (+/-) acres located at the southwest corner of Federation Road and Washington Street North c/o EHM Engineers, Inc. on behalf of Hepworth Family Landholdings, LLC. (PZ20-0104)
By: Lisa Strickland, City Planner

5) Public Hearings

- a) **ACTION ITEM:** Request for a Special Use Permit to allow a dairy testing laboratory on property located at 1445 Fillmore Street, Suite 1100 c/o Andrea Mouw. (PZ20-0106)
By: Lisa Strickland, City Planner
- b) **ACTION ITEM:** Request for a Special Use Permit to construct a 1200 sq. ft. accessory building on property located at 782 North View Drive, c/o Stanley Crowley. (PZ20-0113)
By: Lisa Strickland, City Planner

6) Upcoming Meeting(s)

- a) **INFORMATIONAL:** Tuesday, October 27, 2020

7) Adjournment

Any person(s) needing special accommodations to participate in the above-noticed meeting could contact Kelli Ebersole (208) 735-7267 at least two working days before the meeting. Si desea esta información en español, llame Leila Sanchez (208) 735-7287.

CITY OF TWIN FALLS

PLANNING & ZONING COMMISSION

Public Hearing Procedures for Zoning Requests

1. Prior to opening the first Public Hearing of the session, the Mayor or Chair shall review the public hearing procedures.
 2. Individuals wishing to testify or speak before the City Council or Planning & Zoning Commission shall wait to be recognized by the Mayor or Chair, approach the microphone/podium, state their name, and then proceed with their comments. Following their statements, they shall write their name and address on the record sheet(s) provided by the staff. The staff shall make an audio recording of the Public Hearing.
 3. A City Staff Report shall summarize the application and history of the request.
 4. The Applicant, or the spokesperson for the Applicant, will make a presentation on the application/request (request). No changes to the request may be made by the applicant after the publication of the Notice of Public Hearing. The presentation should include the following:
 - **A complete explanation and description of the request.**
 - **Why the request is being made.**
 - **Location of the Property.**
 - **Impacts on the surrounding properties and efforts to mitigate those impacts.**
 5. Applicant is limited to 15 minutes, unless a written request for additional time is received, at least 72 hours prior to the hearing, and granted by the Mayor or Chairman.
 6. The City Council or Planning & Zoning Commission may ask questions of staff or the applicant pertaining to the request.
 7. The general public will then be given the opportunity to provide their testimony regarding the request. The Mayor or Chair may limit public testimony to no less than two (2) minutes per person.
 - **Individuals are not permitted to give their time to other speakers.**
 - **However, five (5) or more individuals that received written notice of the public hearing may appoint, by written petition, a spokesperson. The written petition must be received at least 72 hours prior to the hearing and must be granted by the Mayor or Chair. The spokesperson shall be limited to 15 minutes.**
 - **Written comments, including e-mail, received by 12:00 p.m. on the date of the hearing shall be either read into the record or displayed to the public on the overhead projector.**
 8. Following the Public Testimony, the applicant is permitted five (5) minutes to respond.
 9. Following the Public Testimony and Applicant's response, Council or Commission members, as recognized by the Mayor or Chair, shall be allowed to question the Applicant, Staff or anyone who has testified. Responses shall be limited to answering the questions asked. The Mayor or Chair may limit the time permitted for the answer.
 10. The Mayor or Chair shall close the Public Hearing. The City Council or Planning & Zoning Commission shall deliberate on the request. Deliberations and decisions shall be based upon the information and testimony provided during the Public Hearing. Once the Public Hearing is closed, additional testimony from the staff, applicant or public is not allowed. Legal or procedural questions may be directed to the City Attorney.
- * Any person not conforming to the above rules may be prohibited from speaking. Persons refusing to comply with such prohibitions may be asked to leave the hearing and, thereafter removed from the room by order of the Mayor or Chairman.



Twin Falls Planning & Zoning Commission Minutes

Tuesday, September 22, 2020, 6:00 PM

203 Main Avenue East
Twin Falls, ID 83301

Council Chambers

Members -

City Limits: Danielle Titus, Chairperson; Craig Kelley, Vice-Chair; Ed Musser; Carolyn Bolton; Curtis Hansen; Marilu Perez

Area of Impact: David Detweiler

1) Call In Instructions

- a) To call in for Public Comment on the items on this agenda, please call 1-208-939-6718, Conference ID: 617 048 905#. Calls must be received between 6:00 pm - 6:10 pm and will be put into the queue to speak during the Public Hearing portion of the meeting.

2) Confirmation of Quorum/Call Meeting to Order

Vice Chairman Kelley called the meeting to order at 6:00 pm.

A quorum was present.

Members present: Kelley, Bolton, Hansen, Perez, Detweiler, Musser

Staff present: Spendlove, Ebersole, Vitek, Hafer, Hart

3) Consent Calendar

Commissioner Bolton made a motion to approve the consent calendar, as presented.

Commissioner Detweiler seconded the motion.

Unanimously Approved by a vote of 6-0

- a) Approval of minutes from the following meeting: August 25, 2020

4) Public Hearings

- a) Request for a recommendation to City Council for an Amendment to the Latitude 42 PUD to modify allowed uses and remove restrictions on outdoor storage on property located at 1291 Latitude Circle c/o Gerald Martens. (PZ20-0100)

Staff Presentation:

PZ Director Spendlove presented the request for a recommendation to City Council for an Amendment to the Latitude 42 PUD to modify allowed uses and remove restrictions on

outdoor storage on property located at 1291 Latitude Circle c/o Gerald Martens. (PZ20-0100)
The Preliminary Presentation for this request was held August 25, 2020.

A public hearing shall then be held before the Commission for a recommendation to City Council to approve, approve with conditions or deny the amendment request.

The Latitude 42 C-1 PUD Agreement #272 contains Latitude Subdivision No. 1 recorded in April 2016 and Latitude 42 Subdivision No. 2 recorded in April 2018.
The PUD Agreement was recorded in April 2016. Recently Lots 6-8 in the Latitude 42 Subdivision No. 2, a PUD was approved for a Special Use Permit to allow for storage unit rental.

Staff has reviewed the request and does not anticipate any negative impacts related to the changes being requested.

The Commission is tasked with making a recommendation to the City Council. You may recommend approval as requested; recommend a modification or recommend denial.

Applicant Presentation:

Gerald Martens, representing applicant, presented the request Request for a recommendation to City Council for an Amendment to the Latitude 42 PUD to modify allowed uses and remove restrictions on outdoor storage on property located at 1291 Latitude Circle. He stated they are requesting a change to the language to include equipment display for lease and storage for a rental equip company. He stated they would like to modify the operation hours to 6:00 am – 10:00 pm to accommodate contractor hours. He stated that unfinished material storage would not be allowed.

PZ/Questions & Comments:

- Commissioner Detweiler asked if the current cul de sac on Creekside Way will stay.
- Mr. Martens stated the developer is in negotiations with ITD to purchase the land. He stated that Creekside Way is now extended through to Cheney Dr., so there is no need for a cul de sac.

Public Hearing: Opened and Closed without input

Discussions Followed:

- Commissioner Musser asked about the access to Pole Line Rd.
- PZ Director Spendlove explained the access route to Pole Line Rd.

MOTION: Commissioner Bolton moved to recommend approval to City Council an Amendment to the Latitude 42 PUD to modify allowed uses and remove restrictions on outdoor storage on property located at 1291 Latitude Circle c/o Gerald Martens, with staff recommendations (PZ20-0100).

Commissioner Musser seconded the motion.

Unanimously approved by a vote of 6 to 0.

- b) Request for a recommendation to City Council to vacate a platted easement on property located at 727 Aspenwood Lane c/o Tim T. Mingo. (PZ20-0105)

Staff Presentation:

PZ Director Spendlove presented the request for a recommendation to City Council to vacate a platted easement on property located at 727 Aspenwood Lane c/o Tim T. Mingo. (PZ20-0105)

All procedures will follow the process as described in TF City Code: 10-16-1. Vacations & Dedications require a public hearing before the Planning Commission where the public and the applicant will have the opportunity to make a presentation, ask questions, or voice their concerns. The Planning & Zoning Commission will make a recommendation to the City Council that the vacation be granted, or it may recommend a modification to the vacation, or it may recommend that the vacation be denied.

The property is located within the Green Tree Estates platted in 1980.

Staff has reviewed this request and does not anticipate negative impacts if approved. Should the Commission recommend approval to the City Council as presented, staff recommends approval be subject to the following conditions:

1. Subject to continued compliance with all local, state, and federal code requirements and other standards as applicable.
2. Subject to retaining 7 ½ ft of the 15' easement per the Century Link request.

Applicant Presentation:

Tim Mingo, applicant, presented his request for a recommendation to City Council to vacate a platted easement on property located at 727 Aspenwood Lane. He stated the request is to build a storage building.

PZ/Questions & Comments:

- Commissioner Detweiler asked if the request is for the whole length of the property.
- Mr. Mingo stated he only needs the 28 feet for the building.

Public Hearing: Opened

- Citizen Dale Rapp, 716 Aspenwood Ln, stated he is in favor of this request.

Public Hearing: Closed

Discussions Followed: without concern

MOTION: David Detweiler moved to recommend approval to City Council to vacate a platted easement on property located at 727 Aspenwood Lane c/o Tim T. Mingo, with staff recommendations. (PZ20-0105)
Carolyn Bolton seconded the motion.

Unanimously approved by a vote of 6 to 0.

5) Upcoming Meeting(s)

a) Tuesday, October 13, 2020

PZ Director introduced Elizabeth Hart as the new Senior Planner.

6) Adjournment

The meeting adjourned at 06:23 PM

Kelli Ebersole, Administrative Assistant



Date: Tuesday, October 13, 2020
To: Planning and Zoning Commission
From: Lisa Strickland, City Planner, City Planner

INFORMATIONAL

Request:

Preliminary Presentation for Request for Annexation with a Zoning District Change and Zoning Map Amendment from R2 to RM ZDA for 11.08 (+/-) acres located at the southwest corner of Federation Road and Washington Street North c/o EHM Engineers, Inc. on behalf of Hepworth Family Landholdings, LLC. (PZ20-0104)

Time Estimate:

Approximately 5-10 minutes with questions/comments to follow.

Background:

The applicant is requesting Annexation into City limits in order to develop the property. Due to the Canyon Rim Overlay, a Zoning Development Agreement is required.

Approval Process:

The applicant is required to present a preliminary review to the Planning and Zoning Commission in which the commission may give suggestions and ask questions of the applicant about the proposed ZDA. A public hearing shall be held before the Commission for a recommendation to City Council to; amend the zoning district and the zoning map, amend with recommendations or deny the request.

Budget Impact:

n/a

Regulatory Impact:

As per Twin Falls City Code 10-15-2 Annexation

The Commission shall conduct at least one public hearing, to send a recommendation to City Council for the proposed plan and zoning designation, in which interested persons shall have an opportunity to be heard. The hearing shall not consider comments on annexation and shall be limited to the proposed plan and zoning changes. (Ord. 2012, 7-6-1981)

As per Twin Falls City Code 10-6-1.4(E) Approval of a ZDA Sub-District: The applicant is required to do a presentation to the Planning and Zoning Commission and the Public a preliminary review. The Commission and Public are allowed to give suggestions and ask questions of the applicant about the proposed project. A public hearing shall be held before the Commission for a recommendation to the Council to amend the zoning district and the zoning map, amend with recommendations or deny the request.

History:

n/a

Analysis:

n/a

Conclusion:

Staff makes no recommendation at this time. A comprehensive staff analysis will be provided at the public hearing.

Attachments:

1. PZ20-0104 Staff Report Preliminary Presentation
2. Vicinity Map
3. Federation Point ZDA 10-6-2020



Comprehensive Staff Report

To: Planning & Zoning Commission
Presenter: Lisa Strickland, City Planner

Request: **Preliminary Presentation** for a Annexation with a Zoning District Change and Zoning Map Amendment from R2 CRO to RM CRO ZDA for property located at the southwest corner of Federation Road and Washington Street North.

Application: PZ20-0104

Applicant & Representative:
 Hepworth Family Landholdings, LLC
 c/o EHM Engineers
 621 N. College Rd, Ste 100
 Twin Falls, ID 83301

Analysis

The applicant is requesting annexation and a Zoning Development Agreement within the Canyon Rim Overlay.

Approval Process

The applicant is required to present a preliminary review to the Planning and Zoning Commission in which the commission may give suggestions and ask questions of the applicant about the proposed ZDA. A public hearing shall be held before the Commission for a recommendation to City Council to; amend the zoning district and the zoning map, amend with recommendations or deny the request.

Applicable Regulations

As per Twin Falls City Code 10-15-2 Annexation

The Commission shall conduct at least one public hearing, to send a recommendation to City Council for the proposed plan and zoning designation, in which interested persons shall have an opportunity to be heard. The hearing shall not consider comments on annexation and shall be limited to the proposed plan

and zoning changes. (Ord. 2012, 7-6-1981)

As per Twin Falls City Code 10-6-1.4(E)

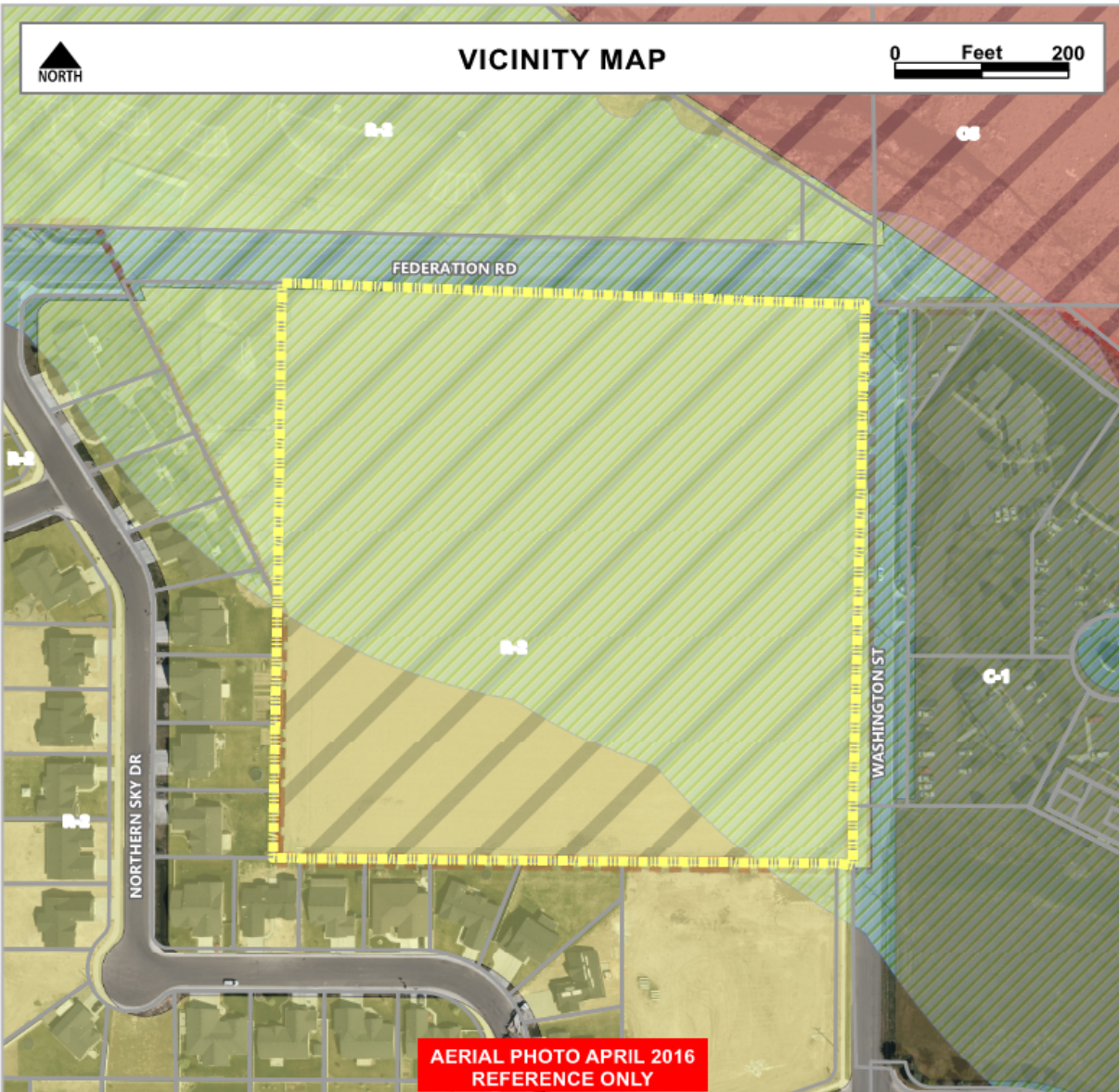
Approval of a ZDA Sub-District: The applicant is required to do a presentation to the Planning and Zoning Commission and the Public a preliminary review. The Commission and Public are allowed to give suggestions and ask questions of the applicant about the proposed project. A public hearing shall be held before the Commission for a recommendation to the Council to amend the zoning district and the zoning map, amend with recommendations or deny the request.

Conclusion

Staff makes no recommendation at this time. A staff analysis will be provided at the public hearing.

Attachments

1. Vicinity Map
2. Zoning Development Agreement



Current Zoning: R-2 CRO

Comprehensive Plan: Town Neighborhood

Existing Land Use: Undeveloped

Proposed Land Use: Residential Mixed Use

Surrounding Zoning Designations & Land Use(s)

North: Federation Road/Canyon Rim

East: Washington St N/Professional Office

South: Residential

West: Residential

Applicable Regulations

10-1-4, 10-1-5, 10-4-15, 10-4-19, 10-6-1

Federation Point, ZDA

A Residential Mixed Use and Limited Commercial Zoning Development Agreement

This Zoning Development Agreement (ZDA) is made and entered into this ____ day of _____, 2020, by and between the City of Twin Falls, State of Idaho a municipal corporation, hereinafter called "City" and Steve Hepworth (hereinafter called "Developer") for the purpose of developing Residential Mixed Uses and Limited Commercial Uses on property located West of Washington Street North and South of Federation Road, known as Federation Point Subdivision, a ZDA.

NOW THEREFORE:

1. All future development, improvements, and uses shall conform to the standards and regulations of the Twin Falls City Code Title 10 – Chapter 4 – Section 15; RM, Residential Mixed Use District or as amended, Title 10 – Chapter 4 – Section 19; CRO, Canyon Rim Overlay District or as amended, and all references to other sections therein including the following deviations:
2. RM and CRO, Residential Mixed Use District and Canyon Rim Overlay District modified to include the following;
 - A. Permitted uses;
 1. Governmental facilities:
 - a. Governmental office buildings.
 2. Medical facilities:
 - a. Doctor's offices.
 3. Residential:
 - a. Bed and breakfast facilities.
 - b. Household units in the same building as an allowed use by the owner or an employee of the allowed use.
 - c. Household units in the upper floors of commercial or professional buildings.
 4. Retail Trade:
 - a. Antique shop.
 - b. Apparel and accessories.
 - c. Art galleries and frame shops.
 - d. Bakery.
 - e. Bookstore.
 - f. Craft shop, in conjunction with retail business.
 - g. Eating places.
 - h. Florist shop.
 - i. Food, drugs, etc.
 - j. General merchandise.
 - k. Hardware store.
 - l. Hobby and toy store.
 - m. Home furnishings and appliances.

Federation Point, ZDA

A Residential Mixed Use and Limited Commercial Zoning Development Agreement

- n. Ice cream store.
- o. Import store.
- p. Laundering and dry cleaning.
- q. Laundromats.
- r. Music store.
- s. Sporting goods store.

5. Services:

- a. Advertising.
- b. Apparel repair and alteration.
- c. Beauty and barber shops.
- d. Cottage businesses.
- e. Finance and investment offices.
- f. Insurance and related business.
- g. Photographic studios.
- h. Professional organizations.
- i. Professional services.
- j. Real estate and related business.

Notwithstanding the foregoing list of permitted uses, any such use which broadcasts amplified music or sound by speakers to the exterior of a building shall also require a special use permit.

- B. Special Uses: A special use permit may be granted for a permanent use that is not in conflict with the Comprehensive Plan and that is not permitted outright because it may conflict with other uses in the District unless special provisions are taken. Special use permits may be granted for the following uses:

1. Misc.:

- a. Any facility with drive-through service.

2. Parks:

- a. Public parks and playgrounds with crowd attracting facilities.

3. Public Assembly:

- a. Funeral chapels.
- b. Schools – private, single purpose.
- c. Schools - private, vocational and/or academic.
- d. Schools – public.
- e. Theaters – indoor.
- f. Wedding chapels and/or reception halls.

4. Residential:

- a. Accessory buildings (more than 1,000 square feet) i.e., garages and other accessory buildings except those physically attached garages built at the same time the home is built.

Federation Point, ZDA

A Residential Mixed Use and Limited Commercial Zoning Development Agreement

b. Nursing homes, rest homes, and assisted living facilities.

5. Retail Trade:

- a. Alcoholic beverages, when consumed on premises where sold.
- b. Permitted retail/trade operating outside the hours of seven o'clock (7:00) A.M. to ten o'clock (10:00) P.M.
- c. Pet shop.

6. Services:

- a. Dog Grooming.

7. Sports Facilities:

- a. Athletic areas.
- b. Indoor recreation facility.

3. Property Development Standards to be modified to include the following;

The following property development standards shall apply to all land and buildings in the RM district:

A. Use Of Lots:

- 1. Each building is not required to be located on a separate lot. If desired, multiple buildings (including dwellings – duplex, triplex, fourplex) may be located on one contiguous lot/parcel.

B. Lot Area:

- 1. Commercial Uses: The lot area for shall be of sufficient size to provide for the building, the required setbacks, off street parking and landscaping. No commercial building shall occupy more than sixty percent (60%) of a lot.
- 2. Multi-family Residential: The lot/parcel area shall be a minimum of five (5) acres and shall contain no more than 26 multi-family buildings with a total of no more than 104 residential units per 5 acre parcel as depicted upon the master development plan included as Exhibit B.

C. Yards:

- 1. The front building line shall be as depicted on the master development plan. All front yard building setbacks shall be twenty feet (20') from the property line or when multiple units are on one parcel a minimum of twenty-five feet (25') from the centerline of a private drive.
- 2. The side building line shall not be closer than five feet (5') to the side property line.

Federation Point, ZDA

A Residential Mixed Use and Limited Commercial Zoning Development Agreement

3. The rear building line shall not be closer than ten feet (10') to the rear property line for multifamily units or five feet (5') for commercial units.
4. Rear, front, or side building lines adjacent to Federation Road and Washington Street North shall be fifteen feet (15') from the right of way line. No other building setback limitations shall be applicable to this development.

D. Other Development Criteria:

1. Perimeter Landscape Buffer and Screening: A landscaping buffer of twenty-five feet (25'), including sidewalks, shall be installed from back of curb along Washington Street North and Federation Road. A six foot (6') high masonry wall shall be installed along the south and west boundary of the development adjacent to existing residential lots.
2. Streets: Federation Road and Washington Street North shall be constructed per the attached Exhibit C with a ten foot (10') wide concrete path on the north side of Federation Road adjacent to the development boundary for infill of a portion of the Canyon Rim Trail Extension.

Federation Point, ZDA
A Residential Mixed Use and Limited Commercial
Zoning Development Agreement

Developer: Steven F. Hepworth

City: City of Twin Falls
P.O. Box 1907
Twin Falls, ID 83303-1907

"CITY"
CITY OF TWIN FALLS

By: _____
Mayor

ATTEST:

City Clerk

"DEVELOPER"
Hepworth Family Landholdings, LLC
Steven F. Hepworth, Member

By: _____

SATE OF IDAHO)
 ss.
County of Twin Falls)

On this _____ day of _____, 2020 before me, a Notary Public for said County and State, personally appeared _____ and _____, known or identified to me, to be the Mayor and City Clerk, respectively, of the CITY OF TWIN FALLS, IDAHO, that executed said instrument, and acknowledged to me that such City executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Residing at _____

[illegible]

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Residing at _____

EXHIBIT A
Legal Description
Proposed Annexation
Twin Falls County, Idaho

Being a portion of the NE $\frac{1}{4}$ SE $\frac{1}{4}$ and SE $\frac{1}{4}$ NE $\frac{1}{4}$ of Section 32, Township 9 South, Range 17 East, Boise Meridian, Twin Falls County, Idaho, more particularly described as follows:

Beginning at the East Quarter corner of said Section 32 as shown on that certain map entitled "Northern Sky Subdivision", recorded November 21, 2007 as Instrument No. 2007-030627 in the office of the County Recorder of Twin Falls County and being the REAL POINT OF BEGINNING;

Thence, along the East Boundary of said NE $\frac{1}{4}$ SE $\frac{1}{4}$ of Section 32, South 00°00'00" East 662.96 feet to a point on the Boundary of said map;

Thence, along said Boundary, North 89°48'21" West 685.43 feet;

Thence, continuing along said Boundary, North 00°34'11" East 302.37 feet;

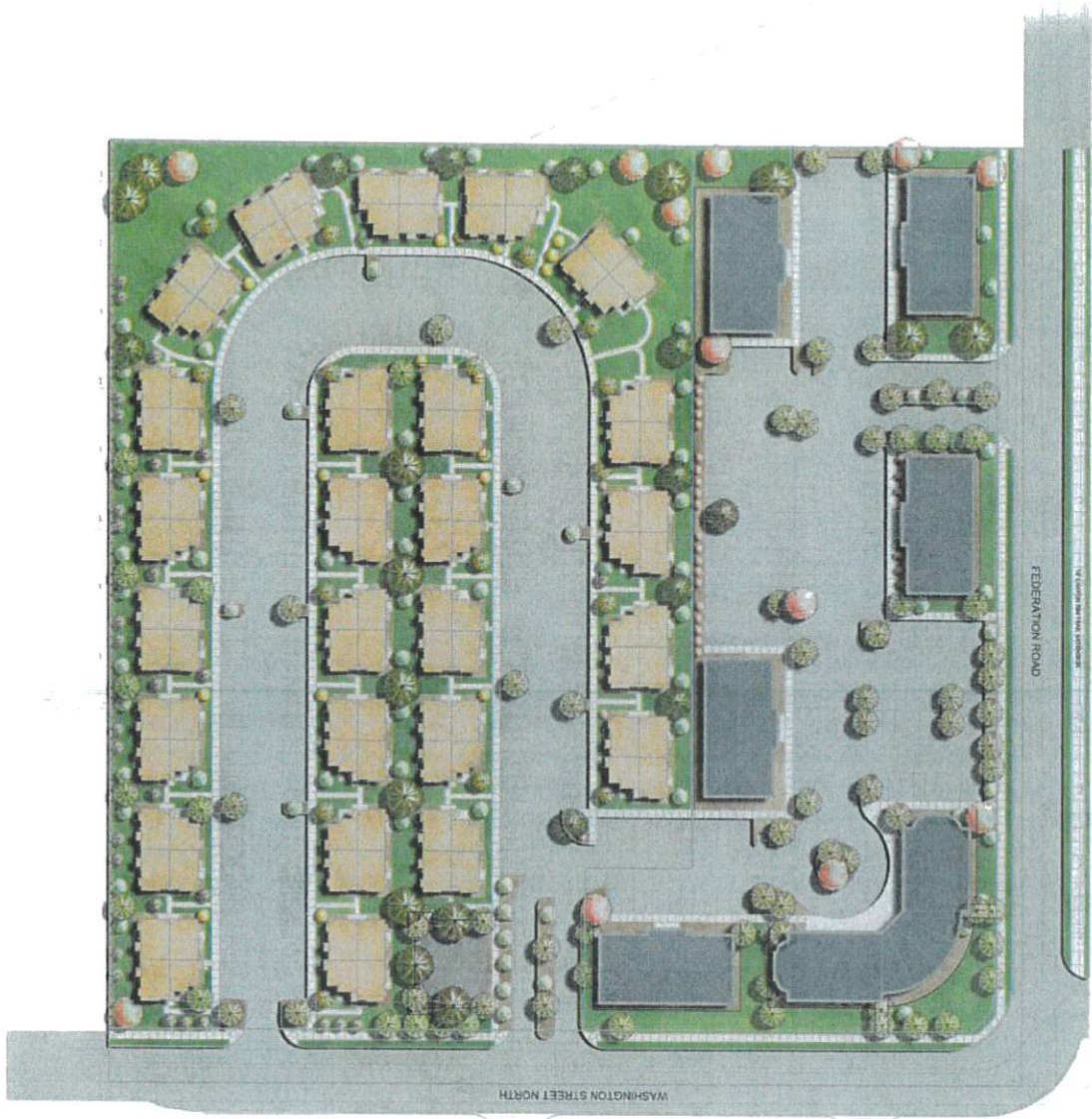
Thence, leaving said Boundary, North 00°03'41" East 404.15 feet to a point on the centerline of Federation Road;

Thence, along said centerline, South 89°50'35" East 682.00 feet to a point on the East Boundary of said SE $\frac{1}{4}$ NE $\frac{1}{4}$ of Section 32;

Thence, along said East Boundary, South 00°00'22" West 44.00 feet to said REAL POINT OF BEGINNING.

Containing approximately 11.08 acres.

End of Description





PKJ

 DESIGN GROUP

 1200 N. TOWN CENTER BLVD. SUITE 100

 LEHI, UT 84043 (801) 965-2408

 www.pkjdesigngroup.com

DESIGN INC. OF IDAHO

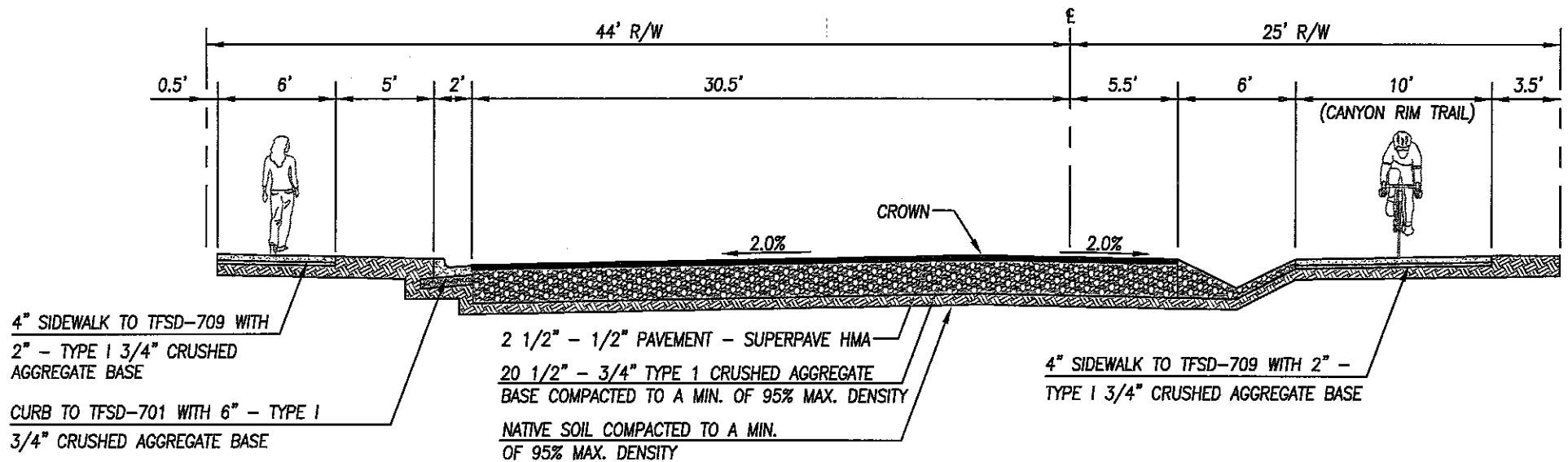
 1200 N. TOWN CENTER BLVD. SUITE 100

 LEHI, UT 84043 (801) 965-2408

 www.pkjdesigngroup.com

GRAPHIC SCALE 1" = 40'

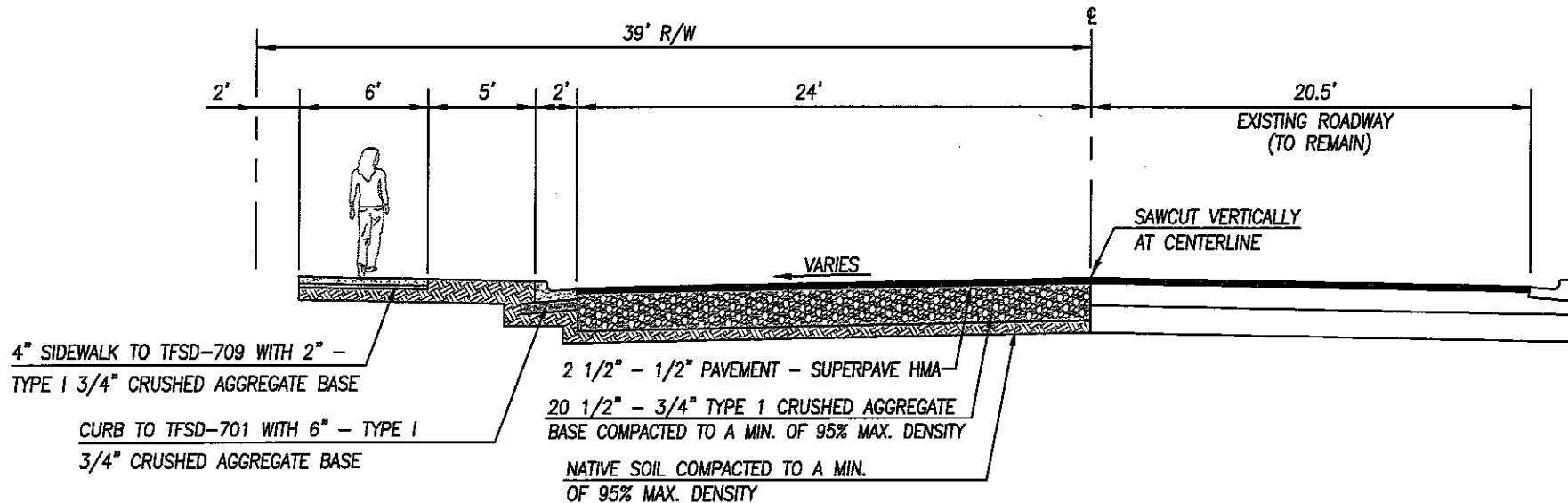
LC	SHEET NUMBER	FEDERATION POINT-MASTER PLAN FEDERATION RD. & WASHINGTON ST N TWIN FALLS, IDAHO 83301 LANDSCAPE PLAN SHEET		VERIFY SCALES THIS DRAWING IS 1" = 40' ON ORIGINAL DRAWING IF NOT 1" = 40' ON THIS SHEET, ALL SCALES ACCORDINGLY	 EHM Engineers, Inc. BUILDING THE FUTURE ON A FOUNDATION OF EXCELLENCE Engineers / Surveyors / Planners 621 West College Road, Suite 100 Twin Falls, Idaho 83301 p (208) 734-4888 fax (208) 734-6019 web ehm.com
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Typical Street Cross Section

Federation Road

n.t.s.



Typical Street Cross Section

Washington Street North

n.t.s.

EXHIBIT C - Roadway Details







Date: Tuesday, October 13, 2020
To: Planning and Zoning Commission
From: Lisa Strickland, City Planner

ACTION ITEM

Request:

Request for a Special Use Permit to allow a dairy testing laboratory on property located at 1445 Fillmore Street, Suite 1100 c/o Andrea Mouw. (PZ20-0106)

Time Estimate:

Approximately 5-10 minutes with questions/comments to follow.

Background:

The applicant is requesting a special use permit to operate a dairy laboratory testing facility. Their Hours of Operation are from 8am – 5pm. They anticipate 1-5 cars a day and they have 7 employees.

Approval Process:

The Special Use Permit process requires a public hearing in which interested persons have the opportunity to be heard, with regards to the application.

The Commission shall make a decision on the request within thirty (30) days after the public hearing. If Conditions of Approval are placed on the permit by the Commission, the Administrator shall issue the permit specifically listing such conditions. Conditions shall be implemented within 6 months or the permit is void.

If the Commission's decision is appealed within fifteen (15) days of the signing of the Findings of Fact, City Council shall set a hearing date to consider all information, testimony and minutes of the previous hearing to reach a decision on the appeal.

Budget Impact:

Regulatory Impact:

Per City Code 10-4-8 and the Woodbury/Prevast C-1 PUD: states a special use permit is required for a testing lab.

History:

The property is located within the Breckenridge Phase III Subdivision that is zoned C-1 PUD. The PUD states the uses will follow the C-1 Zoning District within City Code.

Analysis:

The complex where this property is located is a professional office with multiple office type uses.

This request if approved should not have any negative impacts and should blend well with the other uses in the area.

Conclusion:

Upon conclusion should the Commission approve this request as presented, then staff recommends the following conditions.

1. Subject to compliance with all local, state and federal code requirements and other standards as applicable

Attachments:

1. PZ20-0106 SUP Staff Report
2. Vicinity Map
3. Narrative
4. Exhibit
5. Site Photo



Comprehensive Staff Report

To: Planning & Zoning Commission

Presenter: Lisa Strickland, City Planner

Request: for a Special Use Permit to allow a dairy testing laboratory on property located at 1445 Fillmore St Ste 1100.

Application: PZ20-0106

Applicant & Representative:

Andrea Mouw
2224A E 3700 N
Filer, ID 83328

Public Hearing:

Analysis:

The applicant is requesting a special use permit to operate a dairy laboratory testing facility. Their Hours of Operation are from 8am – 5pm. They anticipate 1-5 cars a day and they have 7 employees.

History:

The property is located within the Breckenridge Phase III Subdivision that is zoned C-1 PUD. The PUD states the uses will follow the C-1 Zoning District within City Code.

Approval Process:

The Special Use Permit process requires a public hearing in which interested persons have the opportunity to be heard, with regards to the application.

The Commission shall make a decision on the request within thirty (30) days after the public hearing. If Conditions of Approval are placed on the permit by the Commission, the Administrator shall issue the permit specifically listing such conditions. Conditions shall be implemented within 6 months or the permit is void.

If the Commission's decision is appealed within fifteen (15) days of

the signing of the Findings of Fact, City Council shall set a hearing date to consider all information, testimony and minutes of the previous hearing to reach a decision on the appeal.

Applicable Regulations or Codes:

Per City Code 10-4-8 and the Woodbury/Prevast C-1 PUD: states a special use permit is required for a testing lab.

Analysis/Potential Impacts:

The complex where this property is located is a professional office with multiple office type uses.

This request if approved should not have any negative impacts and should blend well with the other uses in the area.

Conclusions:

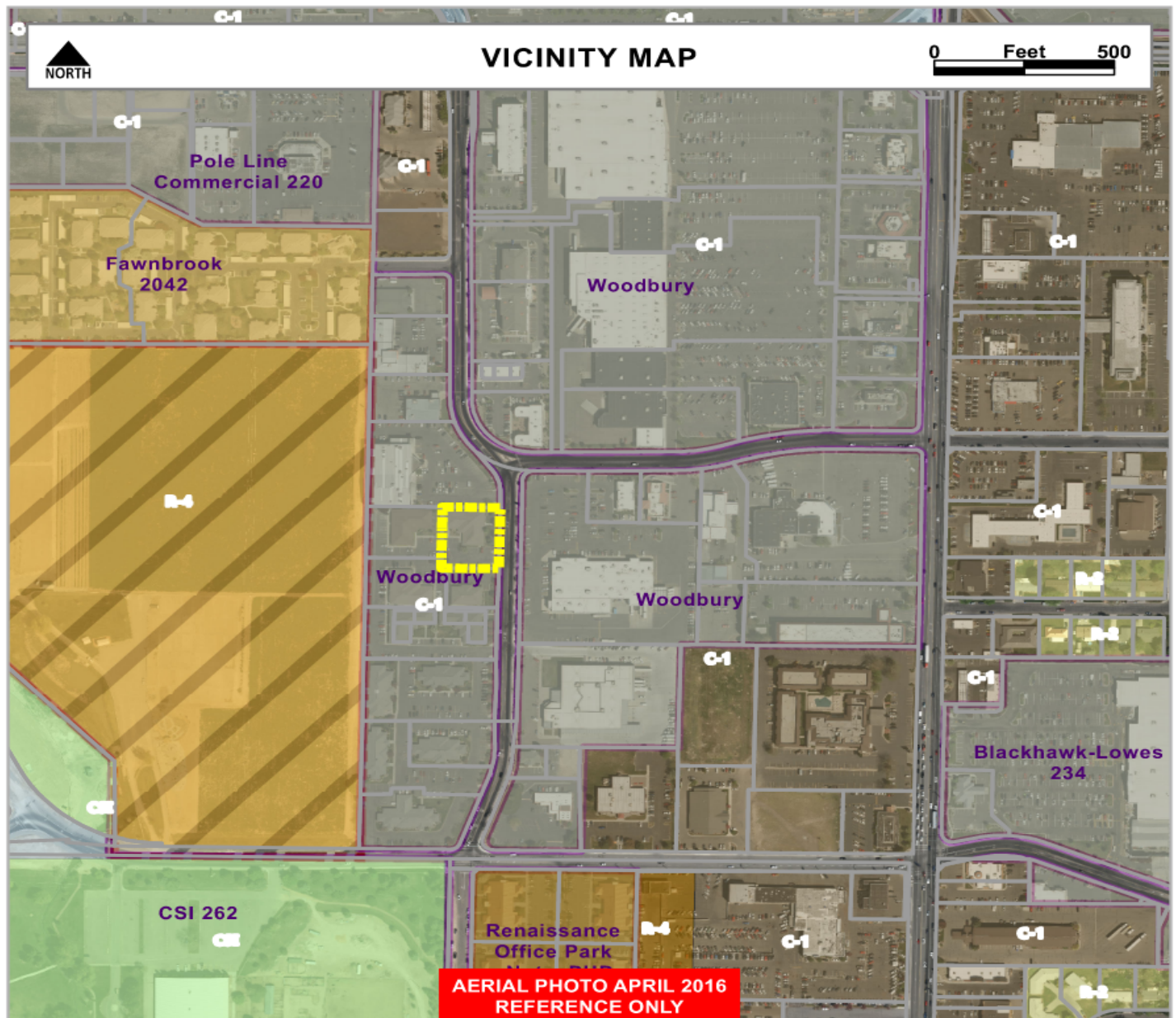
Upon conclusion should the Commission approve this request as presented, then staff recommends the following conditions.

1. Subject to compliance with all local, state and federal code requirements and other standards as applicable

Attachments:

1. Vicinity Map

2. Narrative
3. Tenant Space
4. Site Photos



Current Zoning: C-1 PUD, Woodbury

Existing Land Use: Professional Office

Comprehensive Plan: College of Southern Idaho

Proposed Land Use: Testing Laboratory

Surrounding Zoning Designations & Land Use(s)

North: Office

East: Fillmore/Post Office

South: Office

West: Office

Applicable Regulations

10-1-4, 10-1-5, 10-4-8, 10-13-2 Woodbury C-1 PUD

Reason for request: Moving lab from Filer location into Twin Falls. Was not able to purchase the Filer location after previous owner shut down the lab. He abruptly shut down the lab when he had an accident and broke his neck. We decided to try our best to keep the lab up and going so we all could have a job still. Had a short term lease, so started leasing a building in Twin Falls and have been getting it set up for the new lab.

Explanation of project:

Hours of operation: 8 am to 5 pm

Traffic anticipated: 1-5 cars a day. We have a company vehicle and an employee that drives around to the dairies and picks up almost all of our samples. Very few people bring in their own.

Number of employees: 7 including owner

Noise: Very minimal, mostly people talking. All our equipment is very quiet.

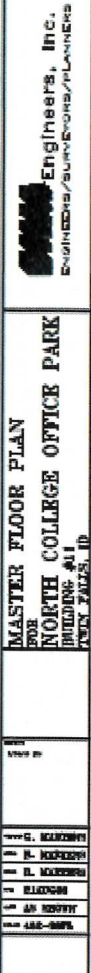
Glare: None

Odor: Very minimal. Only if we have a bad smelling sample, but that wouldn't be able to be smelled anywhere but right next to it.

Fumes and Vibration: None

Compatibility with adjacent properties: Very compatible. We are an agriculture business and the Department of Agriculture is our next door neighbor.

1445 Fillmore, Suite 1100, Twin Falls, ID 83301







Date: Tuesday, October 13, 2020
To: Planning and Zoning Commission
From: Lisa Strickland, City Planner, City Planner

ACTION ITEM

Request:

Request for a Special Use Permit to construct a 1200 sq. ft. accessory building on property located at 782 North View Drive, c/o Stanley Crowley. (PZ20-0113)

Time Estimate:

Approximately 5-10 minutes with questions/comments to follow.

Background:

The applicant is requesting a special use permit so that he can construct a 1200 sq. ft. accessory building on his property for personal storage, specifically his RV and Cars.

Approval Process:

The Special Use Permit process requires a public hearing in which interested persons have the opportunity to be heard, with regards to the application.

The Commission shall make a decision on the request within thirty (30) days after the public hearing. If Conditions of Approval are placed on the permit by the Commission, the Administrator shall issue the permit specifically listing such conditions. Conditions shall be implemented within 6 months or the permit is void.

If the Commission's decision is appealed within fifteen (15) days of the signing of the Findings of Fact, City Council shall set a hearing date to consider all information, testimony and minutes of the previous hearing to reach a decision on the appeal.

Budget Impact:

n/a

Regulatory Impact:

Per City Code 10-4-4: states a special use permit is required for an accessory building that is greater than 1000 sq. ft. in size.

History:

The property is zoned R-2 and is located within the Twin Falls Fairbanks 1st Amd Subdivision. The home was constructed in 1961. No further pertinent zoning history is known at this time.

Analysis:

The site plan submitted with the application has some minor errors that will be addressed during the building permit review. However, Staff has reviewed the request and does not anticipate overly burdensome impacts to the surrounding properties.

Conclusion:

Upon conclusion should the Commission approve this request as presented, then staff recommends the following conditions.

1. Subject to compliance with all local, state and federal code requirements and other standards as applicable.

Attachments:

1. PZ20-0113 SUP Staff Report
2. Vicinity Map
3. Narrative
4. Exhibits
5. Photo



Comprehensive Staff Report

To: Planning & Zoning Commission

Presenter: Lisa Strickland, City Planner

Request: for a Special Use Permit to construct a 1200 sq. ft. accessory building on property located at 782 Northview Drive.

Application: PZ20-0113

Applicant & Representative:

Stanley Crowley
782 North View Dr
Twin Falls, ID 83301

Public Hearing:

Analysis:

The applicant is requesting a special use permit so that he can construct a 1200 sq. ft. accessory building on his property for personal storage, specifically his RV and Cars.

History:

The property is zoned R-2 and is located within the Twin Falls Fairbanks 1st Amd Subdivision. The home was constructed in 1961.

Approval Process:

The Special Use Permit process requires a public hearing in which interested persons have the opportunity to be heard, with regards to the application.

The Commission shall make a decision on the request within thirty (30) days after the public hearing. If Conditions of Approval are placed on the permit by the Commission, the Administrator shall issue the permit specifically listing such conditions. Conditions shall be implemented within 6 months or the permit is void.

If the Commission's decision is appealed within fifteen (15) days of the signing of the Findings of Fact,

City Council shall set a hearing date to consider all information, testimony and minutes of the previous hearing to reach a decision on the appeal.

Applicable Regulations or Codes:

Per City Code 10-4-4: states a special use permit is required for an accessory building that is greater than 1000 sq. ft. in size.

Analysis/Potential Impacts:

Staff has reviewed the request and does not anticipate any negative impacts should the request be approved.

Conclusions:

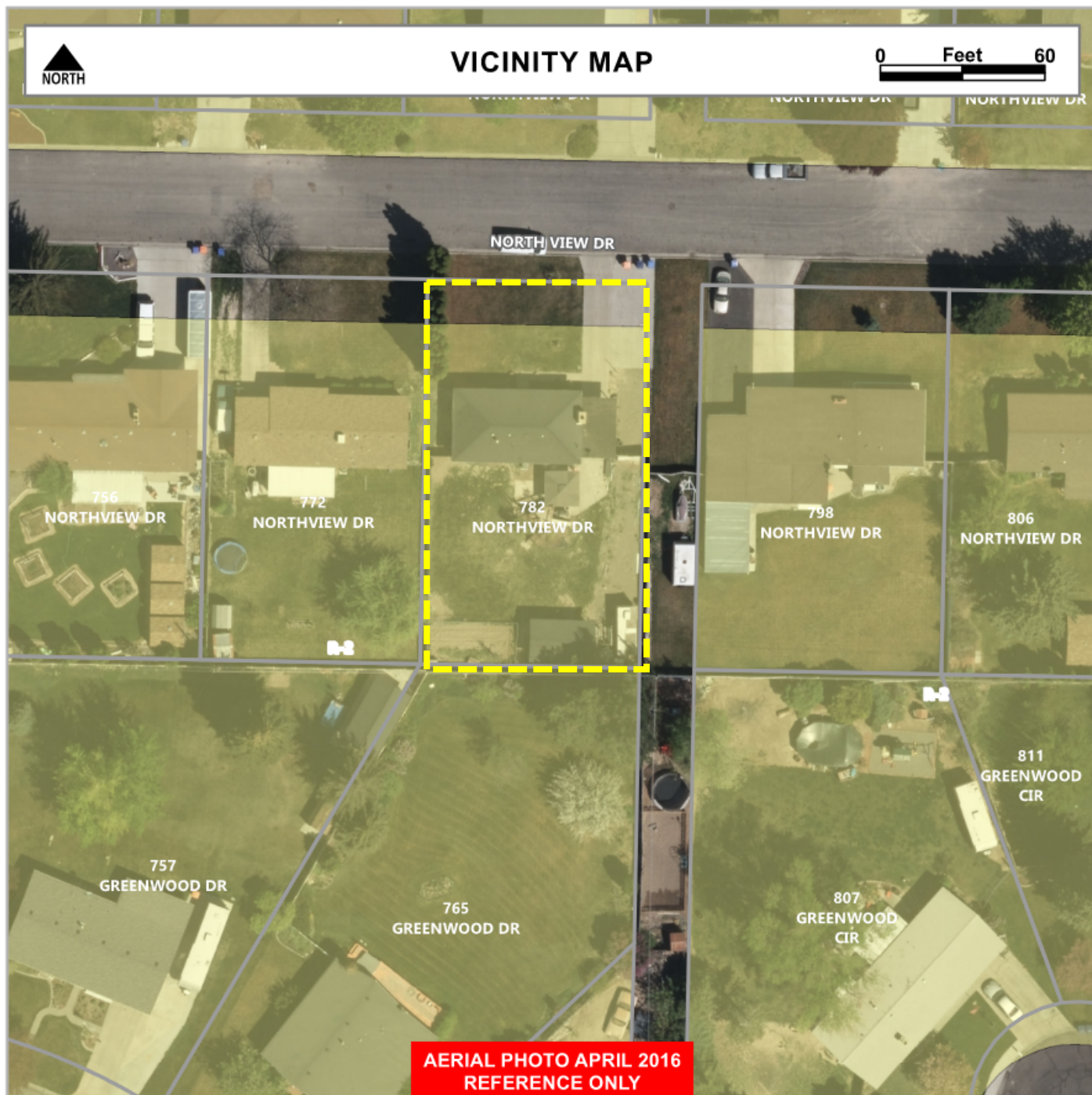
Upon conclusion should the Commission approve this request as presented, then staff recommends the following conditions.

1. Subject to compliance with all local, state and federal code requirements and other standards as applicable.

3. Exhibits
4. Elevations
5. Photo(s)

Attachments:

1. Vicinity Map
2. Narrative



R-2

Current Zoning: R-2

Comprehensive Plan: College of Southern Idaho

Existing Land Use: Residential

Proposed Land Use: Residential Accessory Bldg.

Surrounding Zoning Designations & Land Use(s)

North: North View Drive

East: Residential

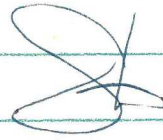
South: Residential

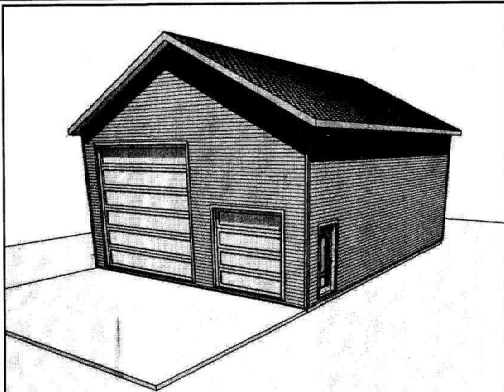
West: Residential

Applicable Regulations

10-1-4, 10-1-5, 10-4-4, 10-13-2

we want a special use permit to build
R&D car garage greater than 1000sqft

 Crady



CIVIL MATTERS ENGINEERING, LLP
 Steven C. Marshall, P.E.
 Structural Design / Civil Engineering / Consulting
 182 North View Drive, Twin Falls, ID 83301
 Cell: (208) 280-3394 / Email: sm@civilmatters-engineering.com
 working in a civil way to solve the engineering challenges of today

RECOMMENDATIONS: AUG 1, 2020

BUILDING CODE ANALYSIS

30'x40'x10' tall steel frame detached private garage for Stan Crowley. Building located at 782 North View Drive, Twin Falls, Idaho 83301.

Detailed Building Plans Applicable Code: IBC 2015
 IBC 2015 Use and Occupancy: Group U: Miscellaneous (detached private garage)
 Type 5B construction

IBC 2015 Table 504.4 Allowable Stories Above Grade
 Group U: NS 1 story allowed, 1-1 OK

IBC 2015 Table 506.2 Allowable SF by Occupancy
 Group U: NS 5500 SF allowed, 50x40=1200 SF 1200<5500 OK

Design Loads: Roof Dead Load 10psf; Live Load (snow) 30 psf

Wind Load: 115 mph

Seismic Design Category: C

Soil Load Bearing Capacity: 2000 psf

Exposure Category: "C"

Frost Depth: 24"

Type: V-B Construction

No exterior firewall required if fire separation distance > than or = to 10 ft from property lines or any other buildings on same lot and without OHTDs (IBC 2015 Table 602)

No exterior firewall required if fire separation distance > than or = to 20 ft from property lines or any other buildings on same lot and with (1) OHTDs (IBC 2015 Table 705.8)

Building to be located proper distance from property lines according to city or county ordinances.

Portable Fire Extinguishers Required

(1) Class 2-A: maximum travel distance to extinguisher-75 ft 40-75 OK

(1) Class 2-B: maximum travel distance to extinguisher-50 ft 40-50 OK

Interior Wall and Ceiling Finish Requirements: Group U: No Restrictions (IBC 2015 Table 603.1)

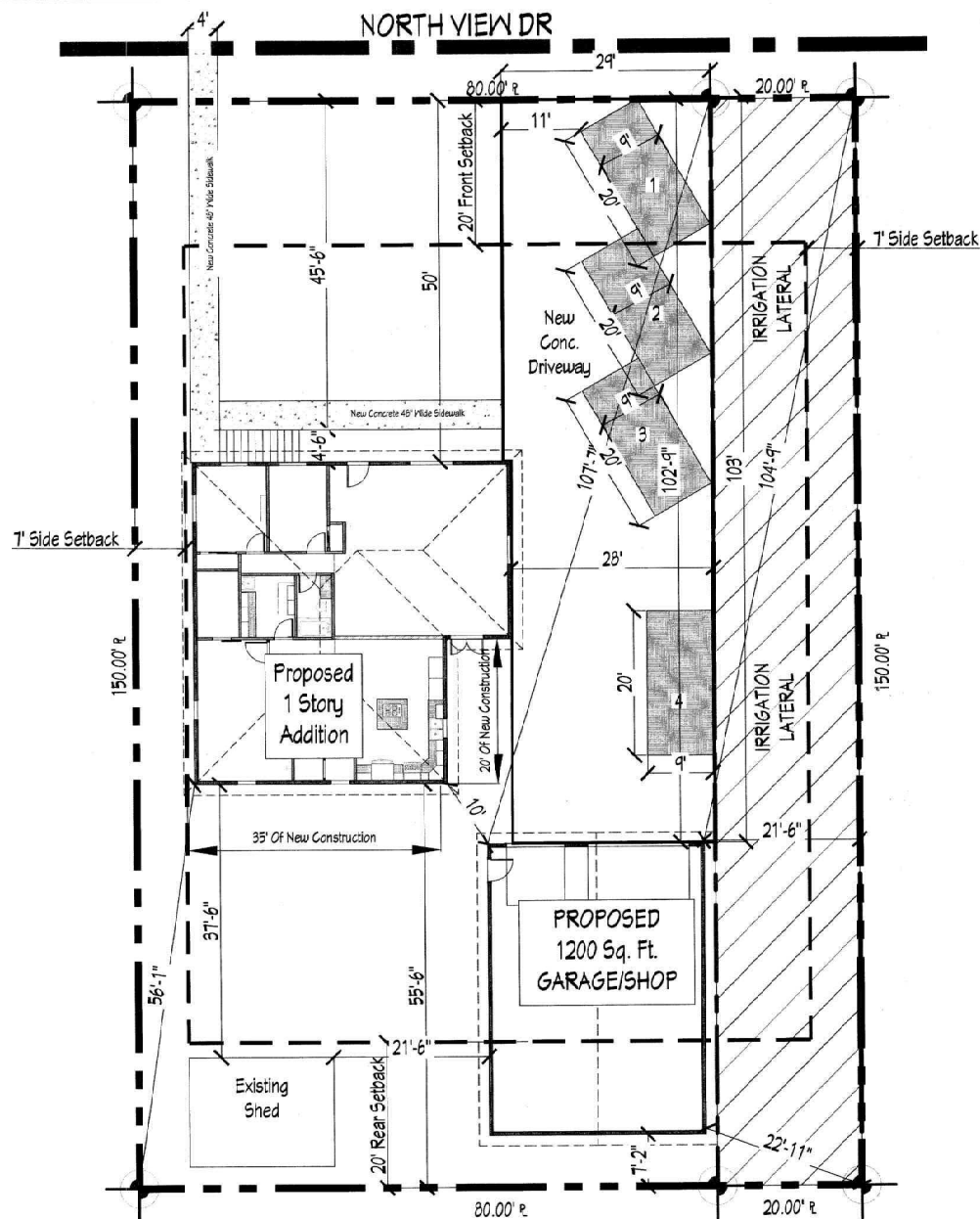
Occupancy Load-4 (IBC 2015 Table 1004.1.2)

Group U: NS 49 5<49 OK, only 1 exit required

TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH ORDINANCES AND/OR BUILDERS SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE OWNER'S AND/OR BUILDER'S EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWINGS. DRAFTING & DESIGN IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER. ALL CALCULATIONS AND MEMBER SIZING SHOULD BE VERIFIED BY A CERTIFIED BUILDING OFFICIAL.

GENERAL NOTES: ALL WORK PERFORMED SHALL MEET CURRENT ADOPTED CODES. IN CASE OF CONFLICTING NOTES, THE MOST STRINGENT REQUIREMENT SHALL APPLY. VERIFY ALL UTILITIES BEFORE DIGGING. PROPERTY LINES ARE CONTRACT LIMITS. SITE AND STRUCTURE SHALL BE KEPT CLEAN. SUBCONTRACTOR TO VERIFY ALL DIMENSIONS IN CASE OF ERRORS OR DISCREPANCIES. CONTACT OWNER OR OWNER REPRESENTATIVE BEFORE PROCEEDING. DO NOT SCALE. DO NOT DRAIN STORM WATER ONTO ADJACENT LOTS.

IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE SUFFICIENT INFORMATION TO THE EXPERIENCED BUILDER TO CONSTRUCT THE PROJECT SHOWN. IT IS THEREFORE HIS RESPONSIBILITY TO VERIFY ACCURACY AND COMPLIANCE WITH ALL REGULATORY AGENCIES PRIOR TO CONSTRUCTION. THEIR REQUIREMENTS MUST TAKE PRECEDENCE OVER THOSE SHOWN AND FIELD ADJUSTMENTS MADE ACCORDINGLY.



Built To IBC 2015 Code
 IBC 2015 Use & Occupancy (Private Garage)
 Type 5B Construction 1200 S.F. Private Garage
 Seismic Design Category - C
 Exposure Category - C
 Soil Bearing Capacity - 2000 psf
 Ground Snow Load - 30 psf
 Wind Load - 115 mph
 Frost Depth - 24"

LEGAL

Sub: FAIRBANKS SUBDIVISION
 Lot: 5 Block: 5
 City: TWIN FALLS County: TF
 State: IDAHO
 Address: 782 NORTH VIEW DR, TWIN FALLS, ID 83301

Shop/Garage
 Area
 1200 SQ. FT.

RECEIVED
 AUG 14 2020
 CITY OF TWIN FALLS
 BUILDING DEPT.

Sheet Schedule

- A-1 Cover Sheet / Site Plan
- A-2 Foundation / Floor Plan
- A-3 Elevators / Typical Section
- A-4 Roof Plan / Wall Bracing

Site Plan

scale: 1" = 8'

DATE	
BY	
DESCRIPTION	
NO.	



Civil Matters Engineering, LLP
 Steven Marshall, P.E.
 Structural Design / Civil Engineering / Consulting
 182 North View Drive, Twin Falls, ID 83301
 Phone: 208-280-3394
 Email: sm@civilmatters-engineering.com

PROJECT NAME & DESCRIPTION:
 2018 400 sq. ft. Shop/Garage
 L&L 5 Block 5 Fairbanks Subdivision
 782 North View Dr, Twin Falls, ID 83301

Site Plan

DATE: 08/02/20

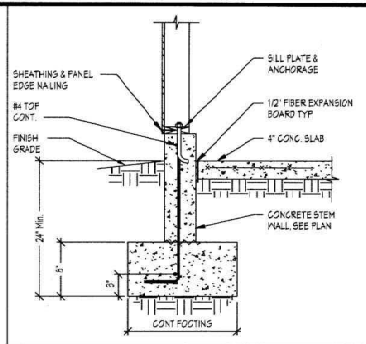
SCALE: 1/8" = 1'

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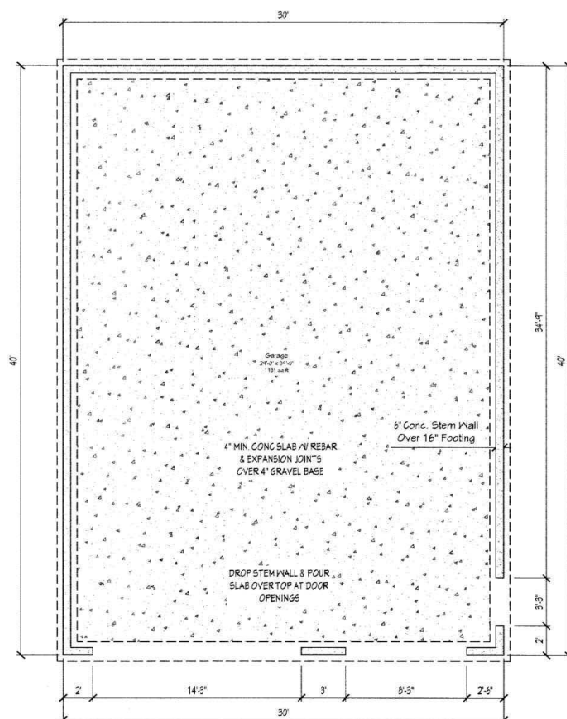
A-1

1 of 4

1. THE FOOTINGS HAVE BEEN DESIGNED TO THE SOIL BEARING PRESSURE SPECIFIED IN THE DESIGN CRITERIA. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE BEARING PRESSURE. ANY SOIL BEARING PRESSURE FOUND TO BE LESS THAN THAT SPECIFIED IN THE DESIGN CRITERIA SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
2. THE CONTRACTOR SHALL PROVIDE PROTECTION TO THE EXISTING FOUNDATIONS TO REMAIN TO BE USED TO SUPPORT THE NEW FOUNDATIONS.
3. THE CONTRACTOR SHALL ENSURE THAT THE FOOTINGS ARE PROPERLY DRAINED AND THAT SOIL MOISTURE CONTENT MEETS THE GOVERNMENT REQUIREMENTS.
4. ALL FUNDING SOIL CONDITIONS ENCOUNTERED DURING EXCAVATION SUCH AS SLUFFAGE, HIGH MOISTURE CONTENT, ETC. SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING.
5. CONTRACT BACKFILL SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR DRY DENSITY TO FIELD SETTLEMENT OF 1%.
6. ALL 12" X 12" ANCHOR BOLTS SHALL BE 6" LONG WITH 12" ANCHOR PLATES. ANCHOR BOLTS SHALL BE EMBEDDED IN AT LEAST 1" OF CONCRETE AND WITHIN 12" OF EACH SILL PLATE END. THERE SHALL BE A MINIMUM OF 2 ANCHOR BOLTS PER WALL SECTION.
7. ALL 12" X 12" SHALL USE GRADE 60 REBAR FOR BOTH HORIZONTAL AND VERTICAL INSTALLATIONS.
8. SIMPSON HOLLOWBOLTS SHALL BE EMBEDDED IN THE FOUNDATION PER SIMPSON HOLDING REQUIREMENTS. THE CONTRACTOR SHALL ENSURE THAT THE FASTENERS MEETS THE REBAR JOINTS AND MEETS THE MINIMUM EMBEDDING DISTANCE.
9. ALL 12" X 12" SHALL HAVE 2" MINIMUM CONCRETE STRENGTH @ 28 DAYS.
10. PROVIDE REBAR JOINTS OR SCAR JOINTS IN CONCRETE SLABS.

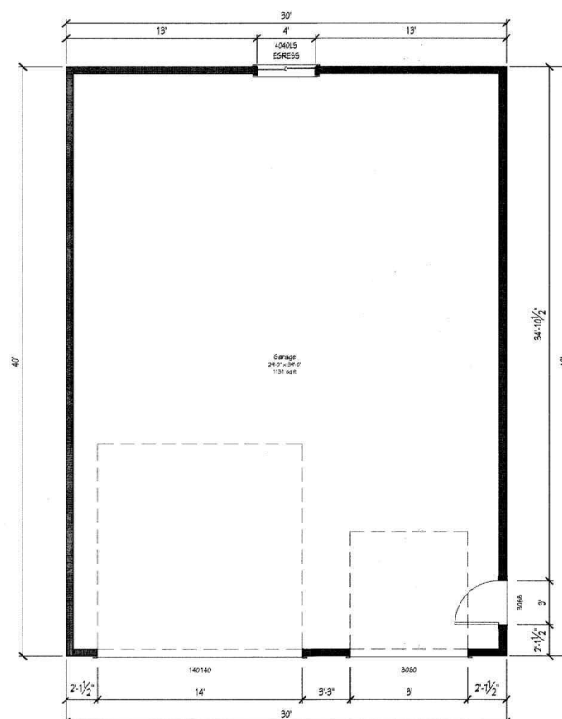


GARAGE PERIMETER FOOTING DETAIL
SCALE: NTS



Foundation Plan
SCALE: $\frac{1}{4}" = 1'$

1. THE CONTRACTOR SHALL USE (2) 2" X 10" DFW WILFILLER OR BETTER FOR ALL LOAD BEARING WINDOW AND DOOR HEADERS UNLESS OTHERWISE NOTED ON THE DRAWING.
2. THE CONTRACTOR SHALL VERIFY ALL LOAD BEARING HEADERS AND BEAMS
3. ALL MULTIPLE BEAMS AND HEADERS SHALL BE NAILED USING 2 ROWS OF 16d NAILS @ 12" O.C.
4. A MINIMUM OF 2 STUDS SHALL BE PLACED AT ALL BEAMS, HEADERS AND GIRDER TRUSSES BEARING POINTS UNLESS OTHERWISE NOTED ON THE DRAWING.
5. APPROPRIATE SIMPSON TIES SHALL BE USED TO CONNECT BEAMS & LONGER TO POST/TUBES.



Floor Plan
SCALE: $\frac{1}{4}" = 1'$

[illegible]

MA Civil Matters Engineering, LLP.
Steven Marzetti P.E.
Structural Design / Civil Engineering / Consulting
45 North Road Avenue, ID #13336
Phone/Fax (208) 324-1459 / Cell: (208) 286-5556

PROJECT NAME & DESCRIPTION:
20-10 400 sq. ft. Shop/Garage
Lot 5 Block 5 Fairbanks Subdivision
762 North View Dr, Tuft Falls, ID. 83301

SHEET TITLE:
**Foundation &
Floor Plan**

DATE: 3/3/2020

SCALE: $\frac{1}{4}'' = 1'$

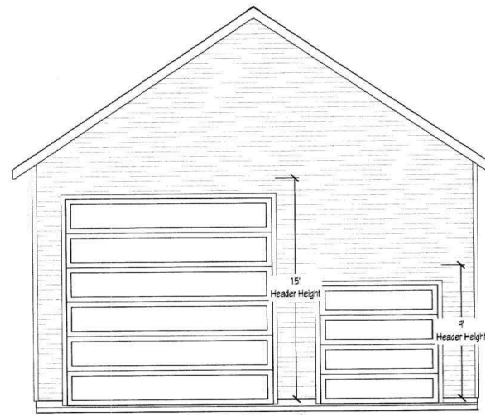
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2 of 4

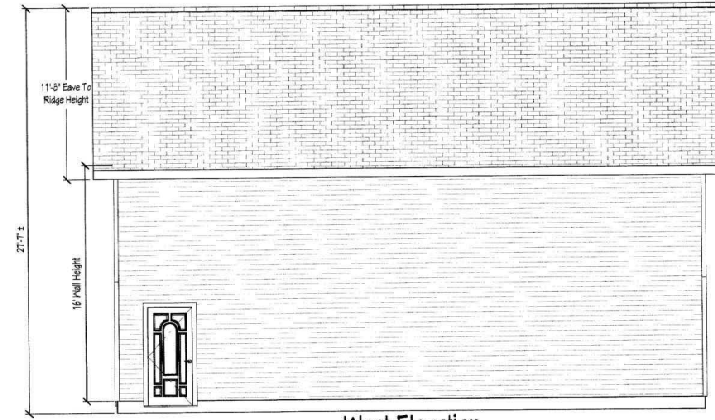
STRUCTURAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK MATERIALS AND SAFETY IN CONFORMANCE WITH THE (IRC) AND OSHA STANDARDS.
2. FINISHING CONDITIONS MAY DEVELOP DURING CONSTRUCTION FOR WHICH NO SPECIFIC DETAIL OR TYPICAL CONSTRUCTION APPLIES.
3. ALL EXTERIOR AND BEARING WALLS SHALL BE 2x6 STUDS AT 15" O.C. UNLESS NOTED OTHERWISE (UNO) BLOCKED EVERY 4'.
4. STITCH ALL STUD BUNDLES TOGETHER WITH (2) 16d COMMON AT 15" ON CENTER (O.C.) MAXIMUM. ATTACH SHEATHING TO EACH STUD BY 3d AT 8" O.C. UNLESS NOTED OTHERWISE.
5. ALL POSTS FROM THE UPPER LEVELS MUST BE ALIGNED WITH, AND MATCH THE POSTS BELOW TO THE FOUNDATION UNLESS TRANSFERRED.
6. SOLID BLOCKING IN THE FLOOR SPACE IS REQ'D BENEATH ALL POSTS. SOLID BLOCKING SHALL MATCH THE FULL DIMENSION OF THE POST ABOVE. JOIST'S ARE NOT CONSIDERED SOLID BLOCKING.
7. NAIL MULTIPLE MICROLAGS TOGETHER PER STRUCTURAL SPECIFICATION SHEET.
8. MINIMUM DOUBLE TRIMMERS WITH KING STUD UNDER EACH END OF MANUFACTURED HEADERS (SLS, WLS, PARALLAM, ETC.) 5/8" MEMBERS (2x8 O.C. OR 2x10 O.C. ETC.) ARE TO HAVE SINGLE TRIMMER WITH KING STUD ON EACH END.
9. WHERE TOP PLATES ARE DISCONTINUOUS DUE TO A BEAM JOCKET OR OTHER SITUATION, STRAP THE TOP PLATES TOGETHER WITH AN STEEL STRAP ACROSS THE SPLICE.
10. ALL HARDWARE SPECIFIED IS PER THE SIMPSON COMPANY.



North Elevation

scale: 1/4" = 1'

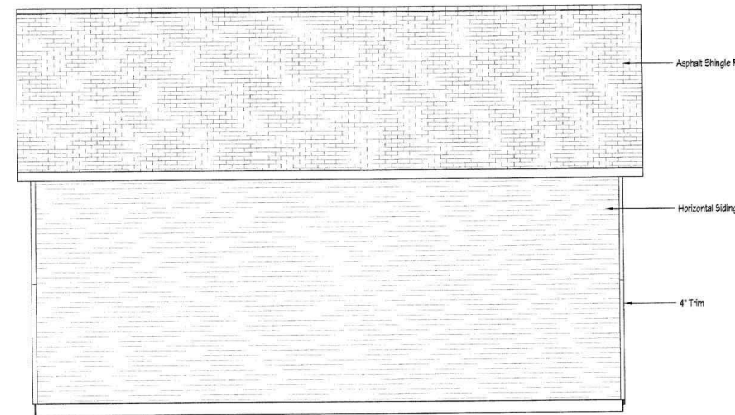
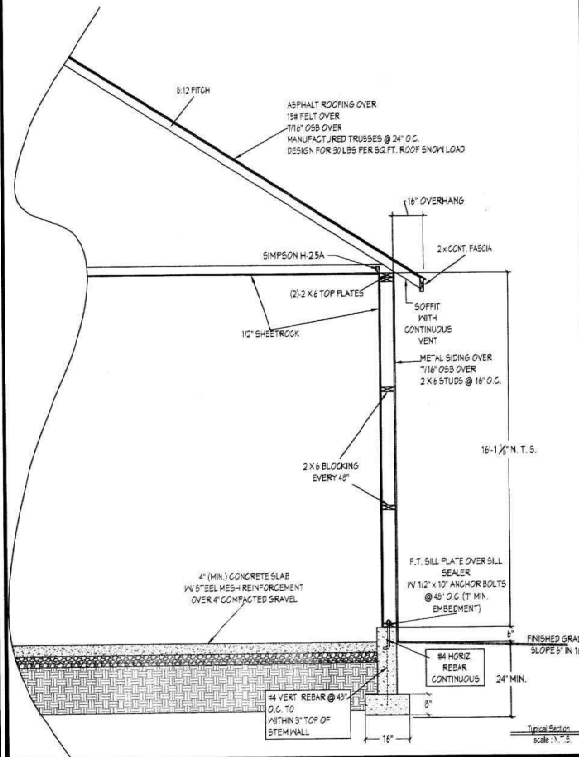


West Elevation

scale: 1/4" = 1'

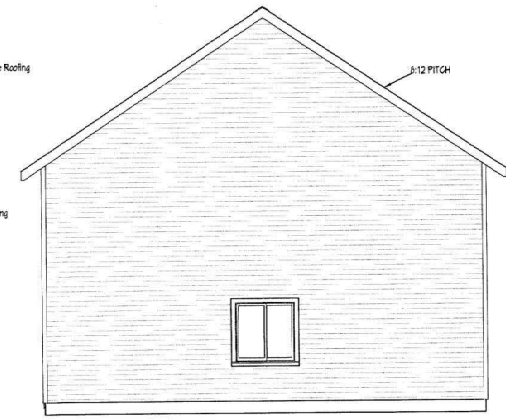


Chad Muller's Engineering, LLP
Steve Muller P.E.
Structural Design / Civil Engineering / Consulting
40 North Road, Suite 100, Boise, ID 83725
Phone: (208) 333-3333
Email: chadmuller@cmerr.com



East Elevation

scale: 1/4" = 1'



South Elevation

scale: 1/4" = 1'

PROJECT NAME & DESCRIPTION: Home Owner Name: Brian Crowley
Address: 152 North View Dr.
Twin Falls, ID 83401
Phone: 208-333-3333
Email: chadmuller@cmerr.com

Sheet Title: Elevations & Section Details

DATE: 09/20/20

SCALE: 1/4" = 1'

SHEET:

A-3

3 of 4

2019-09-20



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08-1

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